



2003 Schuylkill-Southwest Preservation Studio Participants

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 $oxedsymbol{1}$ he purpose of this report is to present the findings and recommendations of a heritage conservation plan for the neighborhood Schuylkill-Southwest whose boundaries are between the Schuylkill River to 20th Street and from South Street to Christian Street in Pennsylvania. Although Philadelphia, this project was conducted as a historic preservation studio class at the University of Pennsylvania's School of Design, the students had a significant degree of influence in its overall content and design.

It is important to lay a contextual framework for this study. The foundation for the recommendations and tools presented herein are firmly rooted in current historic preservation planning practice. Historic preservation provides the tools to both preserve the best aspects of this study area and proactively manage its change.

Why historic preservation?

There are many benefits that can come from the use of historic preservation in the conservation of older urban areas. It encompasses the whole built environment and its contextual landscape, addresses the importance of heritage, and supports quality of life and affordable housing. Economic incentives are intimately related to the sustainable revitalization and management of older urban areas and have been part of historic preservation for many decades. Historic preservation can be used to mitigate undesirable development and economic threats which often impact older neighborhoods.

Originally embracing only iconic and highstyle architecture, historic preservation ignored the overall context buildings have with the landscape. Today, preservation recognizes the significant contributions of vernacular or ordinary buildings to the heritage of an area. The ways that buildings fit into the landscape and relate to each other are also very important. Both of these characteristics are as worthy of preservation as are opulent, artistically significant buildings.

The core of historic preservation is constructed around the retention of historic fabric—the irreplaceable part of an older cultural landscape. If this aspect of an urban landscape is not addressed, then the built environment is unable to communicate its significance through authenticity and integrity.

The heritage of an area helps to connect the present with the past. People who are part of a long generational tradition of living in a particular geographical area derive a major part of their identity through a connection with the historical landscape. In essence their heritage is an expression of their roots and identification with an area. Even people who have recently moved to a neighborhood can establish a similar sense of place by learning the history of where they live. In the end, this connection and identification with the built environment helps to develop community and civic pride.

Historic preservation and the return of higher-income households to urban areas are often linked. Like all change, there are negative and positive outcomes. Recent studies, however, are beginning to indicate that the return of higherhave households tends to income overwhelmingly positive benefits for the economically disadvantaged. Specifically, low-income residents of neighborhoods undergoing this kind of change were less likely to move than similar residents in other parts of the city. This type of



change directly leads to the improvement of quality of life for people regardless of economic class. More jobs are created and the neighborhood becomes cleaner and safer.¹

There are two important caveats to the influx of higher-income residents to an area. The retention of the entire spectrum of historic building stock is usually necessary in order to promote diversity in housing costs. This recommendation works well with historic preservation's interest in preserving vernacular buildings. In similar fashion, any new construction should emphasize a mix of housing, including low-income.

Historic preservation and economic revitalization are intricately linked. A good example of this fact is the National Trust for Historic Preservation's Main Street Program. Since its inception approximately twenty years ago, countless communities have achieved significant improvements in the quality of their downtowns as well as an increase in jobs and the general health of the local economy.

Rehabilitation of buildings helps to create new jobs and the money from those jobs helps the local economy. Unlike new construction, much of the money invested in rehabilitation is converted into labor costs rather than the purchase of materials. In addition, money invested in historic preservation results in the creation of other, periphery employment.

There are many economic incentives for historic preservation such as tax credits, grants, and special loans. These will be explained in detail further into the report. These economic incentives can be used to protect the area without displacing people and encourage low- and middle-income residents to stay.



Aerial photograph of Philadelphia. Studio site highlighted in orange.

Historic preservation and the Schuylkill-Southwest neighborhood

The pattern of the built environment in this area fosters a distinct lifestyle and sense of community. The orientation of the buildings to the street, the pedestrian friendly streetscape, and the interspersing of small business in a predominantly residential neighborhood creates the feeling of a small-town within a larger urban landscape.

The benefits of this kind of urban lifestyle are now appreciated in contrast to the automobile-oriented sprawl and suburbanization of past decades. The desire to live in a community such as this one has stimulated development interest from corporations and individual investors. Local groups have recognized the potential threat of this development and are attempting to mitigate the influx of higher-income residents by maintaining the availability of affordable housing.

The goal of our conservation plan is to avoid turning this neighborhood into a curated collection of architectural objects, like a museum. Rather, our desire is to help incorporate the past into the present



in order to protect the community for the future and avoid an artificial stasis of the environment.

The economic, design, and organizational tools we have developed can help to protect what currently exists and manage the inevitable changes that will occur to the physical and social fabric of this area.

Topics

This report will begin with the methodology and process used in creating a working framework for this study. The Burra Charter, adopted in 1989 by Australia ICOMOS, was the primary document used in guiding the development of the report. This charter and its guidelines allow for a preservation approach that encompasses the social fabric and cultural context of a place, which were important factors in the 2003 Preservation Studio.

The history of the neighborhood and its significance and a policy statement will follow, along with the conservation plan developed for the area. The conservation plan incorporates specific recommendations for various historic and conservation districts and economic incentives that are available, or can be made available, to the community. The report will then complete with two tools that have been specifically designed for the community: a design guideline manual for protection of the historic built environment and landscape, and a maintenance and resource manual.



The 2003 Schuylkill-Southwest Preservation Studio, bounded by South Street, Christian Street, 20th Street, and the Schuylkill River, is significant as an area where original land uses can still be read in the current streetscape. Shipping, followed by the railroad and industry, has been present along the Schuylkill River corridor since before the Naval Home's arrival in 1838. With the exception of the Devil's Pocket and Schuylkill neighborhoods, the area to the west of Gray's Ferry Avenue has remained primarily industrial. The residential sections within the studio site were established around 1850 by speculative developers who were supplying a range of two- to three-story rowhouses for mostly low- to middle-income dwellers working in the industrial area along the Washington Avenue corridor to the south, the dockyards to the west, and the business district of Center City to the Because the area has functioned consistently as a residential zone over the last one hundred and fifty years, the fundamental structure and arrangement of the site has not changed significantly. Both the industrial and residential areas are punctuated by unique features such as the Naval Home, places of worship, schools, the garden streets of St. Alban's and Madison Square, and Gray's Ferry Avenue while South Street serves as the active commercial corridor for our studio site.

neighborhood, our studio site development exemplifies the boom that took place during the nationwide industrialization process in the late 19th century. This new approach to housing construction reflected the developers' concept of density and marketability. The new urban planning philosophy also aimed to create an oasis for the urban dweller, resulting in pedestrian-oriented buildings and streetscapes. The diversity of the blocks within our site reflects the varying

philosophies of the many developers responsible for this initial building phase, including the developer M. S. Leslie.

The residential area of the Schuylkillarchitectural Southwest studio site's significance lies in the regularity of its layout and the homogeneity of its building types. This can be seen in the grid arrangement of the blocks, in the repetition of the building height and width within the blocks, in the relative uniformity of materials, in the consistent pattern of fenestration, and in the orientation of the houses to the street. The layout and building features, such as the front stoops, eye-level windows, and the narrowness of the street widths, foster a space where public and private realms converge. The intimate composition of our site somewhat compensates for the inaccessibility and scarceness of its formal public spaces and creates a strong juxtaposition to the skyscrapers of downtown in the distance.

Over time, significant alterations and repairs have affected the physical fabric of buildings but have respected the pedestrian rhythm and scale of the landscape. These types of alterations, therefore, have been integrated into the space and are part of the evolution of this neighborhood's architectural significance.

Our area of study is defined largely by its diverse population, which has developed and changed by way of a slow matriculation of social and ethnic groups, over the past century. This is not a single neighborhood with broad values, but rather a compilation of smaller environs that has grown to recognize and attach importance to its diversity. Their place attachment results from the experience of life in a highly residential and densely populated urban landscape.



In order to assess a place's cultural heritage and evaluate its significance, it is essential to carry out extensive documentary research. By looking at various written and graphic records, especially library and archival research mixed with field work, we were able to document the evolution of various forces that make up the environment which allowed us to better understand how and why the past shapes the present.

The historical evolution of the Schuylkill-Southwest Neighborhood has shaped the physical environment which has created the social atmosphere. As a neighborhood developed on the outskirts of Center City, our studio area exemplifies late 19th century row house speculative development in Philadelphia. These developments have left a distinct imprint forming a patchwork of environs that have contributed to the diversity in the use of space and in the demographics of the area. This area is not only significant for its historic fabric but also because the transition of its social demographics reflects the immigration and emigration patterns of United States history.

Early History

founded William Penn the city Philadelphia in 1682. He contracted Captain Holmes, his chief surveyor, to design the layout of the city in a grid pattern with wide streets and several public spaces. In 1776, the city proper was contained by Vine Street to the north and South Street to the south, the Delaware River to the east and 8th Street to the west. At this point, the studio site lay outside the city boundaries, in an area called the Moyamensing district. This area was mostly agricultural with large farmlands and estates belonging to wealthy and notorious Philadelphians such as the Kinseys, the Powells, the Pembertons, and the Grays.

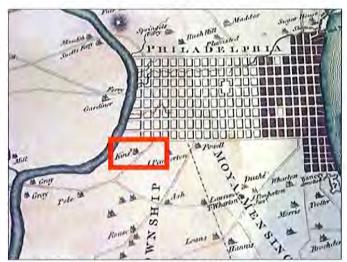


Figure 1: Locke Atlas of Philadelphia, 1777.

An important feature of this area was the construction of Grays Ferry. This ferry was originally a floating bridge for which George Gray was vested with its property in 1781. With the other ferries linking the city to the west bank of the Schuylkill River, Grays Ferry was important in the defense of Philadelphia against the British during the Revolutionary War. It was considered the "West Gateway" to Philadelphia, leading from the studio site to Gray's estate which was enjoyed by Philadelphians as a park. Although the ferry lies outside of the studio site's boundaries and the ferry itself has been removed, the road to the ferry has maintained its course until today and is a major thoroughfare for the site.



Figure 2: Washington Crossing Grays Ferry, 1780.



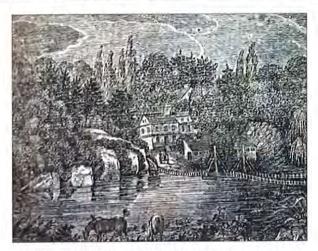


Figure 3: George Gray's Estate on the West Schuylkill River Bank, the "Gateway to Philadelphia," c. 1780.

One of the main estates neighboring Grays Ferry was that of the Pembertons. In 1826, 23 acres of land and the building were sold to the United States government for \$16,000. This purchase was to alter significantly the early rural landscape of the area. The estate is the present day Naval Home or Naval Asylum on Grays Ferry Avenue. It was built in 1833 and designed by the renowned architect William Strickland, who also designed the first United States Mint, the Tennessee State Capitol, and the cupola for Independence Hall. The facility was used as a naval home and hospital and as the first naval academy from 1840-1845.



Figure 4: Naval Home in Moyamensing district, East Bank of Schuylkill River, 1847.

During this period, the Schuylkill River was a major commercial thoroughfare by docks on the east bank allowing delivery and loading of merchandise. According to the United States census of this period, the Naval Asylum and the Schuylkill River docking activity were responsible for most of the employment of the inhabitants within the studio area, albeit not on a large scale as this area was still rural with settled, active farms and estates.

Development: 1860-1890

In 1854, the Consolidation of the City of Philadelphia act was passed. This new bill provided that districts such as Moyamensing would cease to be independent and, instead, the city's boundaries would be enlarged to include these districts. This entailed enlarging the grid system that Holmes had laid out to these newly incorporated districts. This act allowed easier transit to the Schuylkill River from Old City and Center City and set up the foreground for speculative developers.

Between 1860 and 1890, the entire area of the studio site was developed mostly by developers as rows of houses, though some landowners invested in individual houses. According to atlas maps for the city of Philadelphia, in 1862 most of the area lay as vacant lots. By 1876, the land east of Grays Ferry Avenue was constructed and by 1889, the area known as the Devil's Pocket was built, which is roughly bounded by Christian Street, Schuylkill Avenue, Catherine Street, and Grays Ferry Avenue.

Transportation to and from this area was enhanced with the introduction of the the Schuylkill River East Side Railroad (sponsored by the Baltimore and Ohio Railroad Company) along the Schuylkill





Figure 5: Hopkins Atlas, Map of Philadelphia, 1862.

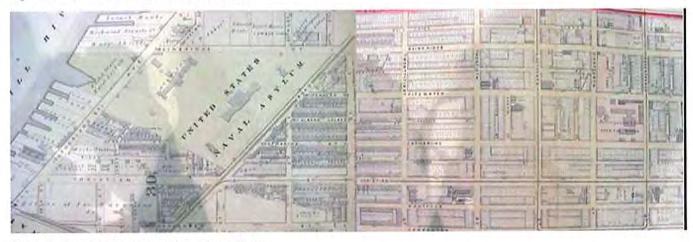


Figure 6: Hopkins Atlas, Map of Philadelphia, 1876.

River eastern bank. The street car along Grays Ferry Avenue allowed for better transit and commute to Center City for the inhabitants of the area.

The development of this area paralleled the rapid growth of Philadelphia as a major industrial center and the city's other Many population expansion. neighborhoods were developed on the outskirts of Center City and housed mostly working- to middle-class families. The population shift was mostly due to an exodus from Center City to newly built units with better sanitary conditions. These constructions, predominantly built as speculative developments, reflected the urban planning philosophy of the day and were appealing to new residents.

Real Estate Boom

For the most part, this rapid expansion of the city was handled by individual speculators who built groups of rowhouses in repeating patterns. An 1870 article of Samual Sloan's Architectural Review and Builder's Journal entitled "Why Philadelphia Grows" explains the procedure many Philadelphia developers were following:

"The owner of a tract of land offers the builder a bonus in the shape of so much cash loan on each house, as an inducement for him to convert vacant lots into interest bearing securities. The landlord having thus converted his lots into ground rents, proceeds to convert them into money, and this money he again lends to the builder on new blocks of houses."



Developers building houses in this manner were supposedly guaranteed success because its methods were considered safe and profitable. The relatively empty plots of land comprising the area in the early 1860s would have been an attraction for these developers searching for lucrative real estate prospects.

Most of the speculative development consisted of two- to three-story, brick rowhouses, but often varied in floor plan and appearance. The range of building typologies included two and three-bay houses with flat facades and roofs to houses with bay windows, mansard or gabled roofs and dormer windows. For instance, an imposing group of rowhouses on the north side of the 2300 block of Christian Street contained threestory, brick houses, two-bays wide with flat façades and roofs. These houses were built by the developer Charles Lafferty in the early 1870s and their grand scale would have been very appealing for new residents either to rent or buy. However, nearby on Bainbridge Street, a different set of rowhouses were built on the 2200 block which featured two-story, brick houses with bay windows and mansard roofs. In contrast to those on Christian Street and elsewhere in the neighborhood, these rowhouses were setback from the street and had the attractive feature of large fenced front yards. These varying styles serve to reflect the range of residential development occurring in the area.

Although the degree of architectural detail – exterior or interior – varied per developer and building type, common building materials were hemlock joists, yellow pine floors, marble sills, and tin or gravel roofs. Some rowhouses, such as a set on the 2200 block of Catherine Street, featured more elaborate interior elements

such as marble mantelpieces, stucco ceiling elements, and walnut handrails. A map of various developers and the scope of what they chose to build, in terms of house plan and appearance may be found in **Appendix A.1.**

One developer, Charles M.S. Leslie, deserves specific mention because of his development of St. Alban's Place located on the 2200-2300 and 2300-2400 blocks between Fitzwater and Catharine Streets and, to a lesser extent, Madison Square, a few blocks away.



Figure 7: Portrait of Charles M.S. Leslie.

These developments not only illustrate the prevailing trend of speculation and development of the time, but also demonstrate an unusual consideration of comfort and garden space. In the late 1860s, Leslie purchased 23 acres of land just east of Grays Ferry Avenue south of the studio site on 22nd and Reed Sreets. St. Alban's Place, as the development would be called, included the subdivision of two blocks into two rows of rowhouses that would be separated by a 50 foot-wide strip. This central strip would become



a landscaped garden surrounded by walkways only open to pedestrian traffic. With bird baths, fountains and flowering bushes, the area would have a distinct park-like quality. Leslie even stipulated in his plans that the residents would contribute monetarily to the maintenance of the garden.

Leslie's plans for St. Alban's were unique because they reflected a genuine desire to improve the lives of the public with his garden design and were the first of its kind in the neighborhood to include such a large garden strip free from automobile traffic. In a personal narrative that Leslie later wrote to a colleague, he repeatedly refers to himself as a "public benefactor" for his "refining, beautiful, and calming street improvement of St. Alban's." He also writes:

"I am well persuaded that four squares of such cheerful, cosy dwellings, and ornamented parks, would add not a little to the reputation of Philadelphia as a 'City of homes' and would exercise considerable influence in persuading strangers to settle and remain there. What a marvelous influence it would have upon Philadelphia, or any other City, if there were hundreds of such streets and parks distributed here and there through the city." ³

And yet, always the businessman, he also factored in the financial and marketable benefits his plans. The St. Alban's development, when completed in 1870, brought Leslie fame exemplified by a woodcut of the street that appeared in the 1871 Scribner's Monthly with the caption 'Leslie's Row.' The houses were in such demand that there were continually standing applications for houses that might vacant. The project's success led Leslie to similarly apply his plans to the Madison Square development of 104 homes, though on a smaller, less expensive scale.



Figure 8: "Leslie's Row," Scribner's Monthly, 1871.

Leslie's concern with the naturalistic character of his developments coincided with new trends in urban planning that emphasized municipal and cemetery planning. With the growing congestion and rapid expansion of cities, city planners sought to create rural havens in urban areas.

By the end of the 19th century, rowhouse development frequently included small gardens, similar to today's front lawn. This type may be seen in the 2200-2300 block of Bainbridge Street in the neighborhood.

Social Establishment

From the censuses for 1860, 1880, and 1890, it is clear that residents and tenants were mostly middle- and working-class Caucasians, predominantly Irish, or of Irish descent. Very few African Americans lived in this area in the early stage of its development. They belonged to a larger community centered around the Chapel of Saint Simon the Cyrenian, located south of the studio site on 22nd and Reed Streets.



The studio area was not economically tied with the local industries or with the Naval Asylum. Instead, the inhabitants of this area held diverse occupations from drivers, butchers, clerks, shop owners, tailors and seamstresses, teachers, and housekeepers. Some residents worked for the railroad or for industries that lay outside the site's boundaries, such as in the candy factory south on Grays Ferry Avenue or in cotton mills. The trend seemed to be that most residents commuted to Center City.

Many churches were founded accommodate the spiritual needs of this new community. Religious institutions such as Saint Charles Borromeo, built in1876 at 900 South 20th Street, Saint Anthony de Padua built in 1892 at 2319-2322 Fitzwater Street, and Church of the Holy Apostles built in 1868 at 2030-2040 Christian Street were erected and articulated the skyline of this area with their tall steeples. These buildings were important architectural statements that complemented the singularity of the rowhouse developments.



Figure 9: Church of the Holy Apostles, c. 1970.



Figure 10: Saint Anthony de Padua, c. 1902.



Figure 11: Saint Charles of Borromeo, 2003.

Saint Charles Borromeo Both and Saint Anthony de Padua were catholic institutions and drew in most of the Irish community of the area. The former was designed by Edwin Forrest Durang, who specialized in ecclesiastical structures associated with the Catholic Church. Saint Charles is a baroque brownstone structure and its interior is clad with highly ornate plasterwork by Scattaglia and Costaggini. Saint Anthony de Padua was designed by the architect Frank Watson who was employed by Durang's firm. The Church of the Holy Apostles was designed by the



firm of Furness, Frazer and Hewitt. Furness was a renowned Philadelphia architect known also for the Pennsylvania Academy of Fine Arts.

Early 20th Century

Starting in the early 20th Century, a steady immigrant influx started changing the demographic landscape of the area. A large population of African Americans moved in as a result of the Great Migration from the southern United States to the north between 1916 and 1930. More Europeans, Scandinavians and Eastern Europeans settled in, especially in the eastern part of the neighborhood. The western part still remained predominantly Irish American, while the southern edge was becoming increasingly African American.



Figure 12: 770 Schuylkill Avenue, 1949.

According to W.E.B. Dubois's study of the African American demographics of Philadelphia, the Schuylkill-Southwest neighborhood was seen as a more hygienic place to live, with better housing options than Old City and Center City, and was close enough to commute easily to the heart of Philadelphia. The United States censuses from 1920 indicate that there is a demographic change: the old

residents have made way for the newer groups coming in who hold the same jobs. By the late 1940s, the demographic changes have solidified into the pattern that is prevalent at present. Today, this area is predominantly African American to the east of Gray Ferry's Avenue and Irish American and Caucasian to the west of this boundary.

Echoing the national economic trend of the 1930s, the South Street commercial corridor began to decline. This major thoroughfare was the community's backbone. Similarly, commercial docks on the Schuylkill River were alienated from abandoned and neighborhood as the railroad lines were expanding. The western part of the studio site became increasingly industrial with many warehouses and the arrival of the Philadelphia Gas Works, known today as the Philadelphia Electrical Company. Overall, the neighborhood fell into decline especially during the Great Depression and gradually became a slum.

Recent Past

As early as the 1930s, the City of Philadelphia devised plans to provide better traffic circulation by creating a Crosstown Expressway. This new highway would complete a loop comprised of the Schuylkill Expressway (I-76), the Delaware Expressway (I-95) and the Vine Street Expressway (I-676) around Philadelphia. The Crosstown Expressway was either to follow the Washington Avenue corridor, the Lombard/South Street corridor or the South Street/Bainbridge corridor.

As a result of the city's plans, the properties within the Schuylkill-Southwest neighborhood depreciated. Furthermore, many residents moved out in fear of the



arrival of the expressway, creating a mass exodus and localized economic depression for the South Street Corridor. In 1968, the city's plans were finally abandoned due to strong opposition primarily due to accusations of racism from residents of the targeted areas.

The plans for this highway drastically affected the Schuylkill-Southwest area: by the 1970s, this site was viewed as a slum and the Redevelopment Authority of Philadelphia seized the abandoned properties. The Philadelphia Historical Commission since certified every house on Saint Alban's and Madison Square as well as numerous properties throughout the area. In the 1980s, the population slowly stabilized and the real estate values of the properties increased to present values.

Concluding Thoughts

Historically, the site for the 2003 studio has not been a neighborhood, at least not as defined by the studio site boundaries. In fact, it incorporates two distinct areas which have developed their individual uniqueness more than 50 years ago. These two areas are, in turn, part of a much larger neighborhood. Thus, the historical findings and values that we have found are but a section of a much greater area. This led us to take interpretative liberties in providing the most comprehensive, as well as the most unified, story of this site as possible. Hence, the result of our research has provided a history that reflects the trends which have occurred in other neighborhoods of Philadelphia as well.



The primary goal of physically Schuylkill-Southwest examining the neighborhood was to gain an awareness of its environment, the architecture, streetscape, and public space. This understanding contributed to revealing how the standing structures contribute to the neighborhood's significance and what characteristics among the historic physical fabric should be preserved in the present and the future. For the purposes of this investigation, the industrial area along the river was considered separately from the residential neighborhood, which received closer attention.

The methodology used to broach the survey began with a cursory review of the area which aided in developing a survey form. This form addressed the location of the properties and their basic characteristics (number of stories, number of bays, type of roof, presence of bays and setbacks, types of alterations) along with their contributions to the streetscape morphology. The use of fire insurance maps led to the grouping of residential buildings according to their footprint. The area was surveyed according to these similar groups, as opposed to addressing the neighborhood building by building. Buildings, such as churches, schools and homes that did not conform to the group in which they stood, were reviewed individually. Information generated from the surveys was entered into a Microsoft Access database, in which queries were used to see the neighborhood as a whole and not as small groups.

Simultaneous to the survey process, maps were created in AutoCAD using plot/plan maps obtained from the City of Philadelphia. This base map was then transferred to ArcView, in which the information found could be mapped to visually represent the findings. Maps

of survey results, including typologies, alterations, pavement materials, predominant building materials, public vegetation, presence of setbacks and stoops and street lighting are provided as appendices.

Findings of the surveys revealed a neighborhood in which there is a repetition of building height and width, relative uniformity of materials and consistent patterns of fenestration. The predominant building types are two- to three-story rowhouses that are two- to three-bays wide with one of three roof types (flat, mansard and gable). The buildings were predominantly brick, with some stone (serpentine and granite) homes interspersed. These characteristics create a unified appearance within the landscape. There is also a regular pattern



Figure 14: Alterations to homes with form intact, Historic Preservation Studio, 2003.

of alterations to the buildings, including painted surfaces, awnings, re-facing of the structure with new material (stucco, formstone, new brick, vinyl or aluminum siding or asphalt rolls), new windows, new doors, altered stoops, covered cornices, shutters and building additions (the latter are largely in the rear of the houses). The percentage of alterations (according to the surveyed groups) were also taken into account and mapped.



This percentage, however, did not differentiate the degree of alterations made to individual buildings (simple repainting of a building was not distinguished from building additions). With all of these alterations, however, the fundamental structure and form of the buildings have not been changed.

According to these surveys, nine typologies were developed. These typologies were identified primarily according to number of stories, number of bays, type of roof and the presence of a projecting bay.

- 1. 2-stories, 2-bays, flat roof
- 2. 2-stories, 2-bays, bay window, mansard roof with dormers
- 2-stories, 3-bays, flat and mansard roofs
- 4. 2-stories, 2-bays, flat roof with parapet wall
- 5. 3-stories, 2-bays, gable roof
- 6. 3-stories, 2-bays, flat roof
- 3-stories, 2-bays, mansard roof with dormers
- 8. 3-stories, 2-bays, bay window on all three floors, flat roof
- 3-stories, 2-bays, bay window on second floor, flat roof





Figure 15-16: Type 1, Type 2, Historic Preservation Studio, 2003.



Figure 17: Type 6, Historic Preservation Studio, 2003.

Of the surveyed buildings, approximately 80% conform to three of the nine typologies (Types 1, 2 and 6).

Additionally local landmark buildings, which provide visual and social anchors to the community, dot the plan of the site with their massing and locations at block corners. In particular the Naval Home complex, which occupies a large trapezoidal shape between Grays Ferry Avenue and Schuylkill Avenue, constitutes a significant presence architecturally and in terms of the land it occupies. The nature of the site, not accessible to the general public, creates a void and augments the barrier defined by Grays Ferry Avenue. Other physically distinct structures include the PECO/Trigen building in the elbow of Schuylkill Avenue and Christian Street; William S. Peirce Middle School and St. Charles of Borromeo, both on Christian Street; Church of the Lord Jesus Christ of the Apostolic Faith on Bainbridge Street; Greater St. Matthew's Baptist Church on Grays Ferry Avenue; and Chester A. Arthur Public School on Catharine Street.





Figure 18: Naval Home, Historic Preservation Studio, 2003.



Figure 20: William S. Peirce Middle School, Historic Preservation Studio, 2003.



Figure 22: Greater St. Mathew Baptist Church, Historic Preservation Studio, 2003.



Figure 19: PECO/Trigen, Historic Preservation Studio, 2003.



Figure 21: Church of the Lord Jesus Christ of the Apostolic Faith, Historic Preservation Studio, 2003.



Figure 23: Chester A. Arthur Public School, Historic Preservation Studio, 2003.



The survey also resulted in a general analysis of the physical makeup of the area. The streets of the site are arranged in a regular rhythm in an east-west oriented grid containing long rectangular building lots oriented north-south. The sidewalks are wide with relatively narrow streets, exhibiting the pedestrian-oriented plan. The footprints of the individual buildings remain relatively consistent, as do the orientations of the buildings to the streets. One of the exceptions to this regularity is Grays Ferry Avenue, which forms a boundary that diagonally cuts the orthogonal urban grid, separating the residential area to the east from the largely industrial area to the west.

streetscapes as a Looking at the whole, the rowhouses typically have no setbacks, excluding stretches along Bainbridge Street and 27th Street. The use of the setback as a yard enriches the landscape, and adds to the view of the street. The fronts of the row houses form a widely-used public space while the rear of these buildings are private and do not invite human or automobile traffic due to size and degree of maintenance. Along the streets, the height of the buildings together with the ratio of sidewalk to street widths makes the residential area of the neighborhood pedestrian oriented. contrast, the newly constructed rowhouses along Schuylkill Avenue include garages that are accessible from the front of the building, causing the homes to appear non-accessible and disrupting the rhythm of the streetscape.

There is an alternating pattern of one lane streets with two lane streets of asphalt, open to automobile traffic, lined by sidewalks predominately of concrete. Two significant exceptions to this include St. Albans Place and Madison Square, which consist of pedestrian garden streets of



Figure 24: Madison Square, Historic Preservation Studio, 2003.

brick. In addition to these garden streets, vegetation is a regular feature within the neighborhood in the presence of trees of varying sizes and densities along each street. Most streets are well lit, except where foliage obscures street lighting. As a whole, the predominantly flat skyline of the residential neighborhood is punctuated by the towers of the several aforementioned neighborhood churches, and the taller industrial buildings to the west.



Figure 25: Flat skyline punctuated by PECO plant, Historic Preservation Studio, 2003.

Visually in contrast to the dense cluster of rowhouses in the residential area, the industrial area to the west of Grays Ferry Avenue consists of buildings representing varying forms, functions and orientations



to the street. They are sparsely arranged along the Schuylkill Avenue corridor creating an automobile-oriented area. Notable presences along this corridor are the John F. Kennedy Vocational Training School, and the PECO building, including its service and mechanical facilities.



Figure 26: Automobile corridor at the John F. Kennedy Vocation Trade School, Historic Preservation Studio, 2003.

Results of the physical survey were used and further built-upon in creating design guidelines for the neighborhood.



Social value embraces the qualities for which a place has become the focus of spiritual, political, national or other cultural sentiment to a majority or minority group. It identifies the special meanings attached to a place by a group of people through their use of the space, their rituals of communal interaction, and their unique perspective of the area. The following report delineates how the studio was able to identify these shared values through the heritage assessment process.

The initial step in this investigation was to identify those groups in the community that define the area by both their presence and their perspective of the space - the 'stakeholders'. The framework for this process was built upon the Rapid Ethnographic Assessment Procedure (REAP) created by Setha Low. Preliminary interviews were conducted with some of the more prominent community leaders in order to gain a clear idea of the categories of people that constitute or shape the neighborhood. From this inquiry a list of identifiable groups within the area was developed:

- 1. Residents
- 2. Large corporate and real estate developers, i.e. Toll Brothers
- 3. Small business owners, i.e. businesses operating with a storefront space
- 4. City officials, i.e. local city council representative, the Philadelphia Planning Commission, the Historical Commission, etc.
- 5. Religious leaders
- 6. Community organization leaders (including school leaders)

Of these groups, the 'residents' category was by far the broadest, therefore it was sub-divided by ethnicity, gender,

age, household size, martial status, renter versus owner, etc., in order to define more specific targets for our investigation. This list would serve as a guide to the development of a more precise methodology that would enable us to identify the key values presented by the community.

A secondary investigation, however, refined our understanding of the stakeholder groups. Once our analysis was complete we were able to identify more specialized and specific stakeholder groups that reflected more precise group values:

- The Irish Catholic community mainly distributed in the Devil's Pocket area descendant from the initial settlers of the Schuylkill-Southwest area. Generally longterm residents and home owners.
- 2. The majority is the African American community descendant from the influx of southern African Americans settling in Philadelphia in the 1930s. Generally long-term residents and homeowners or long-term renters.
- Transient residents such as students or young single people who do not plan to settle in the area longterm.
- 4. Relatively high-income residents who have moved into the area in approximately the last ten years. Mostly middle-class Caucasians, some with untraditional households that have been uncommon to the neighborhood in the past, e.g. homosexual households.
- 5. Small businesses, which have a different set of values from the residents.



* Following the development of the Naval Home, we predict the occurrence of a stakeholder group which is not traditionally found in the area. The gated community is likely to attract a group of middle-upper income residents whose different values and lifestyle might spark tension with the traditional residents of the neighborhood.

Methodology

The Rapid Ethnographic Assessment Procedure (REAP) method was adopted for the assessment of the community's values. REAP may be viewed as a listening device that is intended to single out the voice of the community so that they may take part in the management of their own heritage. The methodology is broken into several diverse techniques to assure that a wide range of constituents are reached. These techniques are also intended to elicit the maximum amount of information from each source. The methods employed by our group were as follows: behavioral mapping, researcher observation, physical traces mapping, individual interviews, and expert interviews.

Behavioral mapping involves recording people and their activities at various times of day and days of the week. The objective is to record the social, cultural, and economic uses of the community. In order to obtain the necessary information, the site was divided into nine segments. Each researcher visited his/her designated segment three times over the course of the study to record the activity occurring on the site.

Researcher observation and physical traces mapping were also employed in our methodological approach. Information was gathered from the same nine segments. Researcher observation

is the recording of individual experiences gained by the researcher while visiting the site. This record includes reactions of the community members to the interviews and day-to-day impressions of the site. Physical traces mapping documents the physical evidence created by the community members during their use of the space. This includes, for instance, the maintenance of homes and landscape, the identification of trash, and the number of abandoned buildings and vacant lots. These methods enable a contextual understanding of the specific environment in which the community members live.

Researchers collected individual interviews by approaching residents on the street. A list of questions, developed by the group, was asked of each interviewee. In addition, the demographics of the interviewee and location of the interview were noted. Realizing that neighborhood boundaries will often differ from the delineation of a ward, census tract, zip code, or the studio site, a visual aid (i.e. a map of Philadelphia) was used to facilitate identification of the interviewee's neighborhood boundaries.

Expert interviews, also pursued under the REAP methodology, were gathered from individuals who are not necessarily residents of the neighborhood yet possess special expertise relative to the studio area. The individuals that our group identified to approach were associated with religious organizations, big corporations, small businesses, and non-governmental organizations. Lists of questions were tailored to each group and a studio member was assigned to each.



Data Collection

collected as a result The data of interviews, observations, and South of South Neighborhood Association (SOSNA) surveys, was organized within spreadsheet format. The spread sheet layout followed the individual questionnaire configuration. This arrangement allowed us to review the data in such a way as to compare formulate responses and patterns. established Significant trends were through comparative analysis and quantitative queries. The information was graphed in charts and mapped in GIS to produce visual aids and a more dynamic catalogue.

The of establishing process а methodology, executing the collection of information, and analyzing the data, was not a flawless exercise. In hindsight, many important factors were understated or overlooked. The initial part of this project was dedicated to the development of questionnaire forms for the gathering of specific information that would enable us to analyze different aspects of the community including daily habits, land use, and perceptions of the community. Unfortunately, ambiguity in the phrasing of some survey questions sometimes forced the interviewer to expound and involuntarily lead an interviewee to an answer. Additionally, the ambiguity of some questions often led to varied interpretation of these questions and consequent problems with analysis of the answers. This problem could have been solved with the addition of more quantifiable answer choices. A more specific critique of the processes related to each survey group will be addressed at the end of our findings.

Data Analysis

Census Data

Responses to the year 2000 census provided a valuable tool to better understand who lives in the studio study area and how they interact with the built environment. Although the area covered by the census tract is slightly larger then the studio study area, the data demonstrates general trends which apply to our site as well.

Race Representation

The largest racial group represented is the African American sector, comprising 72.6% of the neighborhood. White residents represent the second largest group at 20.5%. Small populations of other minority groups include an Asian (2.9%), Hispanic or Latino (2.5%), those who identified themselves as "Other" (1.1%) or American Indian or Alaska Native (0.3%).

Age

The ages of the residents appears widely distributed and very normal, where children and the elderly represent smaller percentages and more than half of the group lies between 25 and 54 years old.

Gender

The gender division appears nearly perfectly split – 50.4% Male, and 49.6% Female.

Household Type

The largest representation is held by householders living alone (41.9%), followed by female households without husbands (24.1%) and married couple



families (16.1%). Other non-family household made up 12.2% and other types of family household 5.7%.

Housing Occupancy

The occupancy rate for housing in the area lies at 82.4%, where the remaining 27.6% of the housing stock is recognized as vacant.

Ownership

Renter versus owner-occupied housing is nearly split. 45.8% of the respondents said they owned their home and 54.2% said they rented.

Date of Construction

The Date of Construction graph testifies to the large amount of historical fabric that lies within the studio study area. **See Appendix A.3.** Nearly 70% of the built environment was constructed prior to 1939. The second largest group at 18% was constructed between 1940 and 1959, whereas each successive decade only saw a small percentage of new construction.

Expert Interviews

Community Organizations

There are several influential community organizations that have a shared interest in the neighborhood. They are the following:

<u>Eastern Pennsylvania Organizing Project</u> (E.P.O.P.)

E.P.O.P is a faith-based organization which uses leadership development and community organizing to help bring about positive changes. Their main goals are safer streets, improved city services, greater education opportunities for

young people and adults, and public and private reinvestment in neighborhoods. E.P.O.P recently partnered with Greater St. Matthew Baptist Church to create a Community Development Corporation, which is working towards community revitalization.

Marian Anderson Recreation Center

Named for the celebrated classical contralto singer and civil rights groundbreaker, born in South Philadelphia in 1897, the center is open seven days a week and offers a variety of cultural and sports programs for residents of all ages.

Odunde, Inc.

Odunde, Inc. is an educational and cultural organization that produces year-round programs focusing on African Diaspora culture. A highlight is the annual Odunde festival, one of the oldest African-American summer street fairs in the nation.

South Philadelphia Blocks Association, Inc.

The South Philadelphia Blocks Association is a non-profit corporation serving South Philadelphia from Broad Street to the Schuylkill River and from South Street to Moore Street. Its mission is to uplift the community by empowering block captains to clean and beautify their blocks and to work collaboratively with municipal agencies and other community organizations and businesses to help residents improve the quality of their lives. The South Philadelphia Blocks Association website offers information and links community organizations, public transportation, and nearby food markets and other amenities.



South of South Neighborhood Association (SOSNA)

SOSNA is non-profit corporation that serves as the Neighborhood Advisory Committee (NAC) for Southwest Center City. Their goal is to facilitate citizen input into community development and their programs include the creation of local affordable housing. SOSNA general meetings are held on the second Wednesday of every month and are open to the community.

South Philadelphia Renaissance Association

The South Philadelphia Renaissance Association began in September of 2000. Director and founder Kim Harold Brown has devoted time and effort in developing establishing organization and connections with other organizations such as SOSNA and Partners for Sacred Places, with whom we first learned of this organization. The mission of the South Philadelphia Association Renaissance (SPRA) is "to preserve the history of our community, by sponsoring diverse community activities and encouraging neighborhood revitalization in the area of South Philadelphia bounded by Pine Street and Washington Avenue and the Delaware and Schuylkill Rivers." Programs include: community tours, cultural exhibitions, library collection, dance and drama troupes, sporting events, clean-up programs, town watches, and community gardens. To commemorate generations past and inspire those of the present and future, the project aims to produce 50 hours worth of video taped oral histories of South Philadelphia's ethnic cultures in order to promote the area as a destination for tourists, historians, the media, schoolchildren, and small businesspeople.

Schools

In relation to community organizations, schools play a big role in our studio site. Pierce Elementary School at 24th and Christian Streets, the only school in our study area, has boundaries of South Street, Broad, Washington and Grays Ferry Avenue. Almost 80% of the children come from our study area, and the rest from the immediate outlying area. Principal Ritzalski, who does not live in the neighborhood, has been the principal at Pierce for fifteen years. He wasn't knowledgeable with respect to who exactly lives in the neighborhood, but during his fifteen years he hasn't noticed any major changes in regards to shifts in population. The neighborhood has always been known as integrated, but not in the sense that different neighbors lived together, rather that the neighborhood was segregated block by block.

Religious Organizations

Nine places of worship are located within the boundaries of the 2003 Preservation Studio site. Seven surveys were conducted over a period of seven weeks. An interview form was designed as a series of questions to collect basic data about the organization and the expert being interviewed, and then to delve deeper to attempt to determine the social values that they may or may not attach to their community and neighborhood.

The sacred sites in this area are all Christian churches, one Catholic and the others Protestant, that range in scale from small converted stores to large stone buildings with parish halls and additional space for schoolrooms and offices. The majority of congregants in these churches are African American though in the past many different cultural groups and



ethnicities attended the various churches. Some of the churches are made-up almost entirely of congregants from outside the studio site boundaries.

On Sunday morning, loud, provocative sermons and lively songs of praise can be heard spilling out onto the streets. Clearly, worship and the places used to gather for that purpose play an integral role in the neighborhoods within this site. These houses of worship have a profound importance for the congregants who place special value on places that have spiritual significance, that is, places where people practice their religion as a community, find fellowship, are baptized, married and laid to rest. The churches function not only as sacred sites but also as community centers with numerous programs for neighbors who are not members. Outreach programs include: rehabilitation, emergency food pantries, support groups for families who have a relative who is incarcerated, thrift shops and space for other religious congregations to meet.

These surveys confirmed, along with surveys taken randomly from people in the neighborhoods, that the residents in this area view the sacred sites as landmarks, focal points in the built environment.

Small Businesses

In total, ten small businesses were surveyed. Although more interviews were attempted, we encountered an unwillingness to talk among some shop owners and employees. The sample group was chosen by selecting a representative number of businesses by geographic location and the nature of the business. We attempted to include a range of business types and geographic locations, however, most of the interviews were

conducted along and around South Street, which has the highest concentration of commercial activities.

Per our survey results, the majority of the business owners and employees interviewed do not live in the studio neiahborhood, do they nor intentions to move into the area. Of all the businesses contacted, some of which are long established in the area, only one is affiliated with the local business association, the South Street West Business Association. According to Miss Jessie Frisby, current president of the South Street West Association, she had been trying to involve the business owners west of 20th Street in the association's activities with no success. Most business owners in this area are relatively well established and do not see the need to involve themselves in such community organizations. In fact, most of the interviewees showed little interest and participation in community activities, which may be due to the fact that they are not residents in the area and they do not own their buildings.

These businesses interviewed mainly cater to local residents followed by people who work in the area, former-residents and others. Contrary to the "People on the Street" (POTS) survey results, almost all of the interviewees agreed that the studio area is a safe environment. They also view the new development positively as business has generally improved due to overall increase in income level. However, African lona-time American residents reflected that they had stopped shopping locally as they do not enjoy the same level of personal services and affordability as in the past. More recent businesses seem to be catering to a different user group, especially along South Street, and have replaced some



long-time local small businesses, which had been run by local African American owners.

Corporate Businesses

The corporate businesses within the boundaries of the 2003 Preservation Studio site are mainly located along the Schuylkill River. Surveys were conducted to determine what social values these businesses have in regards to their surrounding neighborhoods. The surveys consisted of interview questions and were conducted in person as well as by correspondence. The questions attempted to establish some basic data about the businesses while probing deeper into their relationship with their community. Only a few interviews were granted and no correspondence was returned for analysis.

Historically the river was the conduit for materials, goods and supplies. The river provided water for the businesses and carried away the waste. Rail lines follow the riverbank, and were integral to the operation of these businesses. Today only a couple of larger corporate businesses are still functioning within this site, they include: Trigen and the Toll Brothers Development Corporation. Smaller warehouses also lie within the area. A beer distributor is currently operating in one old collection of warehouses. The other warehouse, more prominent and sizeable, is known as the John F. Kennedy Vocational Training School. It is currently owned by the Board of Education, and its use is in transition pending future sale.

The employees of Trigen live almost entirely outside of the neighborhood. There does not appear to be much of a direct economic relationship with the neighborhood from the large businesses. For example, one cannot find many nearby restaurants or small stores that cater to their employees. A kosher luncheonette and a small corner grocery across the street from the Trigen power plant are operating, but both are for sale. However, a representative from Trigen indicated that they are involved in community outreach programs such as sponsorship of a local sports program. The power plant has also recently upgraded their facilities to operate on steam, producing cleaner and better emissions.

The streets are active along Schuylkill Avenue on a weekday, and parking areas are full, but as night falls, the streets are quiet and nearly deserted. Although the industrial presence may seem out of place for a residential area, the buildings have been located at this site for over a century. When considering the context of age, it is easily understood why they chose this riverside location for their industry. The industrial area seems to have grown side by side with the neighborhood, though without much intermingling.

'People on the Streets' Interviews

As part of the R.E.A.P. method People on the Street (POTS) interviews were conducted over the course of several weeks. After developing a questionnaire, researchers surveyed various individuals in the studio area in an attempt to identify community values and assess what, if any, conclusions could be drawn from the findings.

General Statistics

Of the 32 people interviewed, 94% lived within the boundaries of the studio neighborhood and had lived there anywhere from a couple of months to over 90 years. About 50% of the interviewees



had lived in the neighborhood for over 20 years. Of the 58% of those interviewed who owned their homes, the majority had lived in the neighborhood between 25-60 years. The remaining percentage of people who were renters had lived in the neighborhood between 3-30 years.

Neighborhood Activity

regarding people's activity Questions within the neighborhood yielded the following information: 69% of those interviewed stated that they did not work in the area, most sighting Center City as their place of employment. Notably, 38% of those interviewed stated that they were retired. This high percentage could be due to a number of factors including the high percentage of people over the age of 65 in the neighborhood or, more probably, the availability of retired people during the hours when interviews were conducted. Also notable was that 31% of those interviewed stated that they were unemployed. Again this could be due to a high rate of unemployment in the neighborhood, or the availability of unemployed people during the hours when interviews were conducted.

As for shopping in the area, 60% of the people said that they did the majority of their shopping for groceries and household goods within in the neighborhood and almost 80% sighted the local Pathmark as their grocery store of choice. Of the remaining 40% interviewed, half answered that they shopped outside of the neighborhood and half answered that they shopped both outside and within the neighborhood. Those who do not attend church in the area comprise 65% of people interviewed. Of those who did attend church in the area, 35% stated that they went to Greater St. Matthew Baptist Church. As to where people go

for recreation, the most common answer was the Schuylkill River Park, specifically Taney Field. The second most common answer was using the street and/or block for recreation. Other answers included nearby playgrounds, community gardens, or areas outside of the neighborhood. Overall, 80% of the people interviewed said that they spend at least half of their time within the neighborhood. This statistic may not reflect the reality of actual hours people spend in the area, but rather a widespread feeling of the neighborhood as a "home base."

Area Resources

Some of the most useful information for assessing the values of the community was derived from asking interviewees about resources, physical area conditions, and the social environment. Some common responses as to what resources were lacking, especially south of South Street included restaurants, a better supermarket, green space, and places to shop in general. Other amenities noted as lacking were lights in the alleys, a first-time homeowner help center, mailboxes, and an entertainment venue for African Americans. In general, most people interviewed did not seem to give much thought to the proximity of their neighborhood to the Schuylkill River. Upon consideration, however, the majority of people answered that they felt it would be a positive development if access to the river was created and if the riverfront was made a safe and desirable place to go. Only one person interviewed saw the river as an important asset to the community noting its key role in an annual African celebration during which people go to the Schuylkill and throw in fruit for the spirits. Opinions of the community gardens, which proliferate throughout the neighborhood, were all positive. The only



complaints noted by those interviewed were that there are not enough of them and that they should be bigger so as to be able to accommodate children. Many also complained that the gardens are too often bought up by developers.

Historic Built Environment

When asked for their opinion about the neighborhood's historic built environment and land use, every person interviewed expressed affinity for the traditional urban streetscape and historic housing stock (notably Madison Square and St. Albans Street) and a desire to see it preserved. The expression of this desire was in contradiction to the reality of the physical environment, which does retain a significant amount of historic fabric but also exhibits substantial alterations to this fabric. This disparity might be explained by the high cost of restoring and maintaining an historic house as well as differential aesthetic preferences among community members. When asked how they felt about the construction of new houses in place of older ones, the majority of people answered that new buildings were acceptable but only in cases where there was absolutely no possibility of the old buildings being rehabilitated. Many people also mentioned their distaste for the garages that are built into the new buildings because they disrupt the traditional streetscape of the area.

As one of the outstanding features in the area, the Naval Home was often mentioned as an important historic landmark within the neighborhood, a source of community pride, and something that should unequivocally be preserved. While some expressed a desire to see the area made accessible to the public, most people accepted the Toll Brothers' plan to construct a gated community within the

bounds of the Naval Home noting that the site has a long – and implicitly accepted – history of not being open to the public. One common frustration was the amount of time it has taken Toll Brothers to begin their development project, and the chief concern among interviewees was that whatever action is taken with the property should begin sooner than later.

When asked what they felt made their neighborhood unique and why they liked living there, more than half of the people interviewed sighted their relationships with their neighbors and the strong sense of community. In one particularly closeknit area of the studio site a woman noted:

"People will take in your packages for you or hold your mail while you are away. And if there was ever an emergency, you can count on any person in the neighborhood to be there for you, no matter what."

According to those interviewed, some other ways this sense of community is manifested is through block parties, attending local meetings, participating in church functions, working in community gardens, and initiating street clean-up projects. It is worthwhile to note that the majority of people who sighted "sense of community" as the thing they liked best about living in the area, were people who had lived in the neighborhood for an extended period of time and who tended to own their homes. Relative newcomers to the area (5 years or less), who were both renters and homeowners, tended to respond that they liked the neighborhood's peacefulness and proximity to center city. These are, of course, very broad generalizations based on limited data.

Another very common answer (from both long-term residents and newcomers) as to what makes the neighborhood



special is its diversity – both ethnic/ racial and socio-economic. However, some mentioned that while there is no overt tension between different groups of people (particularly racial), neither is there much interaction. This observation was confirmed by the experience of some researchers who noticed obvious social segregation within the studio site. On the other hand, some other researchers maintained that there was, in fact, a large amount of integration in the area.

When asked what the worst thing about living in the neighborhood was, 10% noted the lack of cleanliness of the streets and sidewalks, 20% noted the lack of stores/amenities, 30% noted the high crime rate, and 35% noted the proliferation of drug dealing. In spite of the latter two statistics, however, almost 80% felt secure in their personal safety.

Neighborhood Subdivisions

While assessing the community values, it was important to factor in what the interviewees defined as their own physical neighborhood. Not surprisingly, peoples' definitions did not necessarily adhere to the boundaries of the studio site. The most significant finding was that the area of study was essentially bifurcated into the area east of Grays Ferry and the area west of Grays Ferry Avenue (including the area known locally as the Devil's Pocket" and the southern portion of the Schuylkill-Southwest neighborhood.) The latter is a secluded area and the last remaining vestige of what was once a much larger middle-class Irish Catholic neighborhood.

The demographics of the neighborhood shifted at the turn of the 20th century as African Americans began moving into the area. The current inhabitants of the area west of Grays Ferry Avenue

have an extraordinarily strong sense of community and place attachment although their neighborhood boundaries are distinct from the larger studio area. In contrast, many of the residents living in other areas of the studio site did not single out the area west of Grays Ferry Avenue as a distinct community, but rather included it as part of their own neighborhood boundaries, which were most frequently defined as South Street to Washington Street and Broad Street to the Schuylkill River. Those interviewed from the area west of Grays Ferry Avenue noted values and concerns distinct from those in other areas of the studio site. These included a sense of pride for their deep roots in the area, a high value placed on homeownership, and a worry about the dwindling number of local Catholic churches and schools.

Future Development

Based on the interviews conducted, it is clear that almost everyone is aware of the potential for revitalization of the area and of the recent attention that the neighborhood has gained because of this potential. Of those interviewed, only a handful of people viewed the new development as entirely positive and as something that would potentially help increase the value of their own home. Definitive opposition was stated by 27% of the interviewees to the current influx of developers and new homeowners sighting the displacement of old-timers due to increase in property values, the loss of community spirit due to the increased "transience" of new comers, and the emphasis that developers place on profit neighborhood maintenance of people, integrity. The majority of however, had mixed views saying that while they were slightly concerned about being displaced by newcomers, they were



very pleased to see old buildings being purchased and fixed up and to see that within the past couple of years the area has gotten cleaner, crime has gone down, and there are fewer people "hanging around" on the streets.

One of the defining characteristics of the studio site is that much of the revitalization efforts are being spearheaded from within by local churches and community organizations. Most notably, Greater St. Matthew Baptist Church and Eastern Pennsylvania Organizing Project (E.P.O.P) have collaborated to work within the area to create affordable housing and rejuvenate the local economy. These efforts have created a sense of ownership of the current neighborhood development that, if brought on solely by newcomers, might be a source of disempowerment for the community. A possible source of future conflict within the neighborhood is the progress and manifestations of the area's current development. The construction of the gated community within the Naval Home, for example, creates the potential for an influx of a very distinct socioeconomic class who may be seen as a threat by current area residents. Even further conflict could be created if the design of the gated community were to somehow obscure the current visibility of the historic Naval Home, disconnecting the community from a neighborhood landmark.

Summary

The result of the P.O.T.S. interviews was the formulation of a set of *key values* that the researchers felt best described the characteristics identified by the residents as the positive aspects of the neighborhood. Consequently, these key values are the attributes of the neighborhood that our conservation plan

would attempt to respect and preserve. In light of the distinct sub-sections with the studio site, it was challenging to formulate a generalized list of values. However, the following list contains the various identifying community factors the surveyed residents: valued by proximity to Center City, diversity, affordability of housing stock, life in a residential urban setting, the use of the street as an interactive space (specifically use of front stoops), home pride, a sense of community, strong community organizations, and an appreciation of historical architecture, streetscapes, and land uses.

SOSNA Analysis

SOSNA has been working over the past year in coordination with the City Planning Commission to develop a Neighborhood Plan for the area south of South Street and west of Broad Street. In order to gain community feedback about future development plans for the area, SOSNA has collected questionnaires at each of its community meetings and posted the questionnaire on their website as an online survey. The survey addresses issues such as transportation, open spaces, community heritage, and land use. So far they have collected approximately 100 forms, 20 of which were pertinent to our studio area. It is acknowledged that the results from these surveys will be skewed towards the views of those residents that are actively involved and interested in community organization and/or have internet access. Also, it was found that only 30% of the respondents had lived in the area for more than five years, therefore this survey may more accurately represent opinions of the latest population coming to the area, which we have identified as one of the five stakeholder groups. The results of



this survey were used in conjunction with our own resident survey in order to both broaden our sample group and to compare the effectiveness of each methodology.

It was found that our studio area is not known by a single name but rather parts of it are referred to variously as Rittenhouse Square, Fitler Square, Southwest Center City, Southside, Devil's Pocket, Graduate Hospital, South Philly, and South of South. South of South and Graduate Hospital were only slightly more common. Notably, no one referred to the area as Schuylkill-Southwest as it is named on many statistical sources. The boundaries listed for the neighborhood also varied; however they were most commonly referred to as South Street to Washington Street and Broad Street to the river. This also coincides with the census tract and with the boundaries listed in our P.O.T.S. survey. Perception of the southern border of the area varied most often between Catherine Street and Christian Street This variance blended well with our own observations which viewed Christian Street as a major thoroughfare dividing the area between South Street and Washington Street. We also observed that Fitzwater Street acts as a minor socio-economical boundary between Christian Street and South Street as the southern portion is overall in poorer physical condition.

It was found that 95% of respondents provide considered the area to "fair" to "good" quality of life. They named proximity to Center City as the characteristic they liked best about their neighborhood followed by the neighbors themselves and the friendly atmosphere, redevelopment/ affordable living, property value appreciation, and the housing stock/architecture. Once again it should be noted that this may only reflect the opinions of newcomers who chose the area because of its redevelopment and investment opportunities. Overall satisfaction with the neighborhood is broken down in a chart. **See Appendix A.3.**

In the area of dissatisfaction, residents named trash, drugs/crime, abandoned houses/vacant lots as the characteristics they disliked about their neighborhood. As expected, clean-up, development of abandoned properties, police presence, local stores, open space, and public space were listed as needs in the community. Specific needs were rated and placed in a chart. **See Appendix A.3.**

Overall, the results of this questionnaire compared well with the findings of the studio's survey. Both concluded that no specific name or neighborhood boundaries can be established for the studio area with the exception of South Street and the river. Also, new and old residents appear to share the same concerns, with the possible exception of opinions regarding new development. The P.O.T.S. survey expressed slightly more concern for displacement and property tax elevation while the SOSNA survey of predominately newer residents views the change more positively.

Street Observations

Condition of Streetscape

In order to draw a correlation between the condition of the built environment and the street in general, we recorded the condition of the streetscapes block by block. We tried to identify the overall condition of the buildings, the amount of historic fabric which is still evident, the number of trees and green space, the number of vacant lots and abandoned



buildings, and the overall condition of the streetscape. The data compiled was then sorted and analyzed using a spreadsheet and GIS mapping.

More than half of the buildings were considered to be in good or even excellent condition. Similarly more than half of the sampling was identified with medium to high amounts of historic fabric visibly retained. The conditions of the buildings widely varied, – even on the same block. Many noted that some buildings had been altered by different renovation campaigns and they appear well maintained.

The overall condition of the streetscape was almost evenly split between either a fair or good rating and 14% of the streets appeared in poor condition, while only 3% appeared in excellent condition. On average, at least a few trees were identified on each block, with some blocks displaying window boxes. Nearly half of the streets were identified with some park, garden or open space. Vacant lots and abandoned buildings were distributed throughout the neighborhood, each averaging about one per block.

Mapping out our data in GIS revealed that the block in best condition was the 2100 block of Kater Street. Those buildings in the worst condition tended to be near each other along Webster Street between 20th and 22nd Streets. The north/south corridors along 21st and 22nd Streets were considered no have virtually no historic fabric intact.

Street Activity

Street activity was observed and recorded by the researchers to better understand how the residents and visitors use their outdoor space and environment. To obtain a more evenly distributed sampling, observations were made on different days of the week and at different times of the day. Sampling consisted of 115 observations. Results after sorting revealed:

- No-to-low activity occurred most frequently on weekday mornings after 9 a.m.
- A moderate amount of activity was identified on weekday afternoons and evenings.
- The time of greatest activity appeared to occur at mid-day on the weekends.

The same street activity data was looked at to determine which particular streets were the most actively used. The results revealed that...

- Fitzwater was the most active street.
- Followed closely by Bainbridge, South and Christian Streets.
- While smaller side streets such as Norfolk, Bambrey, Kaufmann and Fulton Streets were the least active.

These results, however, do not take into consideration time of day and thus may be flawed. The sampling, for example, was consistently taken at less active times of the day.

Some of the most common activities noted were:

- Walking
- conversing on stoops
- waiting for buses
- standing or sitting in front of homes
- conversing on the street
- youth hanging out on stoops



- children playing and riding bicycles
- shopping on commercial streets

Also observed were:

- people setting up for a birthday party held in front of a house
- construction and renovation being performed on several homes
- people on their way to church on Sunday

It appears that the streetscape is an integral aspect of life in the studio area. The common space is utilized by many residents as a place for socializing and recreation. As noted elsewhere, this dominant use of the streetscape may be due to the lack of formal recreational and social gathering places within the area. It may also be fostered by the intimate architectural arrangement of the pedestrian scaled homes, the narrow street widths, the relatively light traffic flow, and the large front stoops.

Conclusions

The 2003 Preservation Studio site is defined largely by its diverse population developed through different patterns over the past century. This is not a single neighborhood with broad values, but rather a compilation of smaller environs that has grown to recognize and attach importance to its diversity. Place attachment to the site results from the experience of life in a highly residential and densely populated urban landscape, maintaining traditional use patterns. Additionally, active local organizations (SOSNA, Religious Org., EPOP) work as stewards of the historic built environment leading the way toward growth and continued revitalization of the neighborhood. This has fostered a community that embraces change while preserving the socio-cultural heritage of the area and safeguarding a sustainable neighborhood for the future.

Concerning the conservation plan, it will be necessary to keep in mind the potential for conflict in an area that is open to Development change and diversity. is currently occurring within the site that is controlled by outside investors and which has the potential to greatly disrupt the socio-economical status of the neighborhood. The construction of the gated community within the Naval Home, for example, creates the potential for an influx of a upper-income residents who may be seen as a threat by current area residents fearing displacement and disempowerment. Thus, preserving the current social values expressed by the community will be one of the goals of the conservation plan.



Introduction

1 From recent studies by J.L. Vigdor (Duke University) of Boston; Lance Freeman (Columbia University) and Frank Braconi (Citizens Housing and Planning Council) of New York.

Historical

- 1 "Why Philadelphia Grows," The Architectural Review and Builders Journal, 1870, pg. 200.
- 2 Personal Narrative of C.M.S. Leslie, 1873, pg. 13-16.
- 3 Ibid.



To gain a better understanding of the political issues that may both help and hinder the preservation of the Schuylkill-Southwest neighborhood, a study of laws, policies and organizations was undertaken. Research was carried out with a systematic approach to include national, state and local topics. Creation of a detailed matrix of findings consisted of: the name or title of the law or organization, the primary person involved, the name of the program, benefits that it has, whether it enables or hinders preservation and a brief description of the law or program and how it works.

At all levels, most of the laws and programs enable, or have the likelihood of enabling, the preservation of the area. This can be accomplished through:

- Monetary Assistance: there are various monetary incentives available in the neighborhood, for example the Community Development Block Grant provides assistance to low- and moderateincome persons for the rehabilitation of residential and non-residential buildings.
- **Education:** such as the joint plan between the Pennsylvania Historical and Museum Commission and Preservation Pennsylvania to educate elected and appointed officials organizational and leadership on preservation, land use, resource and heritage issues; Livable Neighborhood and the Program which educates block-level teams about health and safety, beautification and greening, energy efficiency, resource sharing and neighborhood building.
- Recognition: as national, state and local organizations recognize and support historically significant

- properties and communities (for example the Naval Home, a National Historic Landmark).
- Advocacy: as with 10,000 Friends of Pennsylvania advocating for sound land use policies and actions, and development to support heritage resources.
- Free supplies: Philadelphia's Anti Graffiti Program provides free power washing and paint for graffiti removal.
- Renovation and Sale of Property: as with the Greater St. Matthew Community Revitalization Project which attain condemned properties from the city, renovate them and resell them at both lowincome and market rates.
- Repairs: programs such as the Neighborhood Transformation Initiative's SHARP will carry out minor repairs to homes of elderly Philadelphians,
- Improvements: the Weatherization program of the Neighborhood Transformation Initiative provides free weatherization and energyefficiency improvements to owneroccupied or rental units.
- Low-Income Housing: such as Housing Choice (Section 8) which allows low-income residents to live outside of public housing through a voucher program.

While the studio recommends pursuing historic district nomination in its conservation plan, there are currently no designations, thus many benefits, notably monetary benefits, cannot be taken advantage of at this point. Without being listed on the Philadelphia Register of Historic Places, National Register of Historic Places or National Historic Landmark, preservation tax credits cannot be attained. Additionally, protection from



damaging federal projects and design guidelines are not available.

At this time, many of the state laws that could greatly impact the preservation of the neighborhood are still pending. These include the Blight Remediation Board Act (to provide affordable housing, improve the quality of life and increase the annual revenue for school districts), Commercial Tax Credits (a 20% tax credit on eligible redevelopment costs for designated buildings), Community and Economic Development Stimulus Program, Elm Street Program (to provide monetary assistance to communities next to Main Street corridors), Property Relief (offers homeowners Tax average property tax reduction of 30%), Remodel Pennsylvania (provides money for site acquisition, construction and infrastructure improvements), Residential Tax Credits (offers a 20% state income tax credit to those who purchase and restore older designated properties).

Unfortunately, not all findings will have a favorable impact on the community. Certain programs, such as Heritage Property Services and the pending Community and Economic Development Stimulus Program, are directed more towards developers, which in turn may lead to a more gentrified neighborhood.

This study was expanded upon and used in developing a conservation plan for the Schuylkill-Southwest Neighborhood.



 ${f I}$ n order for neighborhoods to maintain a suitable environment, a set of regulations must be enacted and enforced by the local government. These regulations cover areas pertaining to the administration, financing, and management of these neighborhoods. They also play a key role in the maintenance and development of the built environment. Land and building uses are incorporated in these regulations as a means to protect the general welfare and safety of the residents of these neighborhoods. These regulations are constantly being amended as new discoveries are made or new perspectives are taken into account.

The approach taken to better understand the current layout and physical state of the studio site was by studying and analyzing the Philadelphia Building Code, the zoning regulations, the city ordinances for historic properties, and the proposed conservation district ordinance. These categories proved to be important factors in assessing the environment. They served as tools to determine what is available and what needs to be added to maintain and preserve a suitable The analysis of these environment. categories established a conclusion that the rules and regulations inadvertently protection contributed the to preservation of the important features of the study area.

The neighborhoods in the city of Philadelphia must comply with Philadelphia Building Code and Charter. In 1996, the Building Officials Code Administrators (B.O.C.A.) National Building Code was adopted as the Building Code of the city of Philadelphia with additions, deletions, and amendments. The Philadelphia Building Code is composed of 22 sections.

These sections include:

- building construction and occupancy code;
- electrical code;
- property maintenance code;
- fire code;
- health code;
- housing code;
- plumbing code, and
- traffic code.

The regulation of commerce, individual conduct, public property, parks, finances, and taxes are also included in the Philadelphia Building Code. The requirement to obtain a permit is a way of enforcing the regulations laid out in the Philadelphia Building Code by making government officials aware of projects going on in the city and giving them the power to review and advocate any regulation that applies.

Perhaps the most important section of the Philadelphia Building Code is Title 14. This section deals with zoning and planning regulations and provides a framework for the streetscape and layout of the city. Density as well as building restrictions are covered under zoning. The jurisdiction and powers concerning zoning regulations are administered by the Zoning Board of Adjustments set forth under section 14-1801. The studio study area includes seven zoning districts which can be seen in the appendices. The residential districts include R9A, R10, R10A, which are multifamily districts, and R13, which is a low-density residential area. Under section 14-210.1(3)(a) of the Philadelphia Building Code, the regulation for height is set to a maximum height of thirty five feet above the average ground level at the base of the building. The area regulations including lot width, setbacks, front and rear yards, and side yards and



courts are also established.

The commercial district includes C2 and the industrial districts include G2 and L4. The commercial district follows most of the area regulations set by the residential districts. Height is also determined based on the residential district surrounding the commercial district. The G2 industrial district is for heavy industrial use. Uses and regulations are found under section 14-508 of the Philadelphia Building Code. The L4 industrial district refers to limited industrial use and these can be seen under section 14-506 of the Philadelphia Building Code.

Also included in the Philadelphia Building Code is a section dealing with local buildings, structures, historic objects, and districts. The Philadelphia Historic Preservation Ordinance, Section 14-2007 of the Philadelphia Code, was approved in December of 1984 and took affect in April of 1985. The objectives of this section are to preserve buildings, structures, sites and objects that are important to the cultural values of the City; to encourage the restoration and rehabilitation of buildings, structures, sites and objects that are designated as historic; to strengthen the economy of the city by enhancing the city's attractiveness to tourists; and to foster civic pride in the architectural, historical and cultural achievements of Philadelphia.

Under the Historic Preservation Ordinance the Philadelphia Historical Commission bears the responsibility for the preservation of buildings, structures, sites, objects and districts that are important to the historical, cultural, architectural, archaeological and educational traditions and values of the city. To this end, the historical, architectural and other qualities of properties throughout the city

are evaluated for possible designation as historic resources based on the criteria defined in Subsection (5) of this Section. Furthermore, the powers and duties of the Historical Commission also include defining boundaries and the designation of local historic districts that meet criteria outlined in Subsection (5) of this Section; to prepare and maintain a comprehensive inventory of historic buildings, structures, sites, objects, and districts; to review and act upon all applications for permits to alter or demolish historic buildings either individually listed or located within historic districts; issue permits to construct new buildings within historic districts; and to increase public awareness of the value of historic preservation.

Within our study area, the Historical Commission does not have that much authority over building alteration for there are few buildings listed on the local register. The two major areas within the neighborhood where the Historical Commission imposes strict quidelines are the collection of rowhouses along the pedestrian walkways of St. Albans (2300 block) and Madison Square (2200-2300 block). The Church of the Holy Apostles on Christian Street and a few residences along Bainbridge Street are also individually listed on the Philadelphia Register of Historic Places. If the studio site is designated as a local historic district, this will enable the Philadelphia Historical Commission to exercise more power and control over the development of the neighborhood.

Aside from existing rules and regulations, there are proposed regulations that can greatly affect the studio study area. One such proposal is the Neighborhood Conservation District (NCD) Ordinance. The NCD Ordinance has not yet become a part of the official ordinance as of 2003.



The ordinance has been drafted by a councilperson and studied by Philadelphia City Planning Commission (PCPC) and Philadelphia Historical Commission (PHC). We have to bear in mind that the Ordinance is still a draft and at a very early stage in the enactment. Therefore the contents of the ordinance are subject to change. NCD is designed mainly to protect residential neighborhoods which have traditional character as described in draft ordinance. More information on the NCD is available in Chapter Four under Nominations.

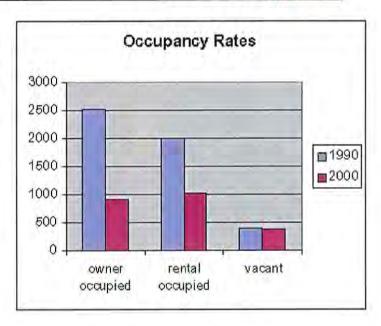
The 2003 studio site has recently seen an increase in interest by real estate developers and by individuals interested in making an investment in real estate. The interest has been sparked by the locations close proximity to Center City and the drastic increase of prices there. Also sparking interest in the neighborhood is the future project of the Toll Brothers, Inc. renovation and expansion at the Naval Home site, which sits at the western edge of the residential area of the site.

The analysis of the housing market in the area was aided by the use of the website, www.realtor.com, and the national Multiple Listing Service website. As well as interviews with Realtors who have listings in the neighborhood.

The typical property type that was for sale during the time that the studio conducted its research was two-bay, two-story single-family homes to two-bay, three-story single-family homes. The real estate prices ranges from \$70,000 to \$200,000, with some property listing prices falling above or below that range.

Market Values of the Studio 2003 Site The studio took a sampling of properties per block and then took an average of the assessed value. The average market value of the 2003 Studio Site is \$48,655.

According to the 2000 Census, there are 2,293 homes in the studio site. Out of this 2,293, 1,922 of these properties are occupied, and 371 of these properties are vacant. Of the 1,922 occupied properties, 903 are owner occupied, and 1,019 are rental properties. These numbers are down from the 1990 census. Please reference the following graph.



Real Estate Taxes

In Philadelphia, real estate taxes are determined by a seven-member board of judges appointed by the Philadelphia Common Pleas Court. This board is known as the Board of Revision of Taxes (BRT). The BRT annually estimates and reviews the fair market value on all real estate in Philadelphia County. The market value of a property is determined using three approaches: sales comparisons, property rental income, and cost depreciation. residential properties are usually assessed using the sales comparison approach. This approach compares recently sold similar properties within a short distance of each other, usually on a similar block. Adjustments are then made pertaining to each property.

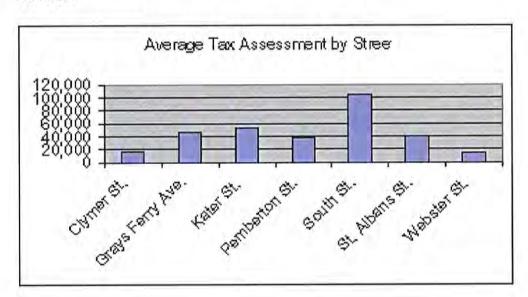
Real estate taxes are determined not by market value, but by an assessed value which is a predetermined percentage of the market value of the property. This percentage is 32%. The current tax rate is 8.264%.



Real estate taxes can be determined by the following formula:

(Market Value)(32%) = Assessed Value (Assessed Value)(Tax Rate) = Real Estate Taxes

The market value and the real estate taxes for each property are available on the BRT website.





In order to determine the specific preservation needs of the Schuylkill-Southwest studio area, the studio performed a conditions assessment of the built environment. The intention of such an assessment is to reveal the types of material deterioration present in the area, the causes of deterioration, and the historic integrity of the remaining structures. This information will allow us to recommend treatment programs for the structures as well as maintenance quidelines for their residents.

could Before the survey form be developed, an initial determination of the deterioration types and their causes had to be made. In this particular case, it appeared that severe deterioration was not generally the fault of poor building materials, but due to neglected maintenance and inappropriate However some structural alterations. deterioration was determined to inherent to the rowhouse design which often leaves a poorly supported front wall and weak party walls that become unstable once the neighboring building fails or is removed. Therefore, the survey that we created roughly dates alterations to the structure, identifies the materials suffering from deterioration, evaluates the structural stability of the building, and determines the level of maintenance required to stabilize the building.

Integrity:

- Nearly intact building material and form from date of construction
- Nearly all modifications and forms intact since c. 1910
- Nearly all modifications and forms intact since c. 1950
- Significant post-1950 modification
- Modern (post-1950) construction

Material Deterioration Phenomena:

- Brick
- Stone
- Pointing
- Paint
- Wood
- Metal

Structural Condition:

- No structural problems noted
- Some problems, structural integrity ok
- Significant structural problems

Aesthetics and Maintenance:

- Property appears well maintained and is clean
- Some deferred maintenance and/or unkempt appearance
- Major deferred maintenance and/or unkempt appearance

Due to time constraints, a full survey of the studio area was not feasible. Instead, the scope of the survey was narrowed to Fitzwater Street between Gray's Ferry Avenue and 20th Street. As the road transverses nearly the entire residential area and is centrally located within the studio boundaries, it was believed to give a representative snapshot of the general conditions found in the area. Also, the initial investigation of the area preformed during the first phase of the project suggested that this east-west swath acts as a median zone between the more affluent and well-maintained area to the north and the struggling area to the south. The following report will present the findings from the survey.

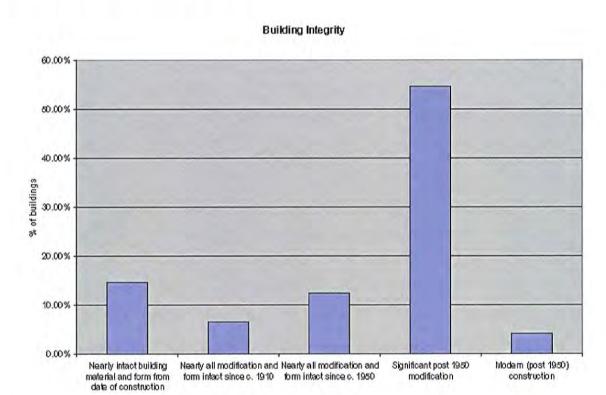
The data collected on the forms has been entered into a Microsoft Access database and a numerical analysis performed. The breakdown of the various categories is presented in the synopsis section that follows.



Synopsis of Data as of November 10, 2003

Total Lots Surveyed: 169

Vacant Lots: 12 (7.1% vacant lots)

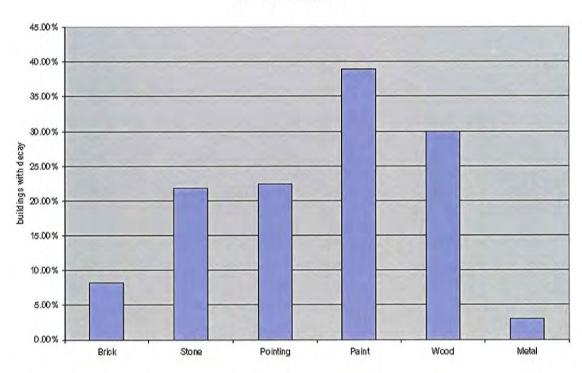


Integrity:

14.7%	Nearly intact building materials and forms from date of construction
6.5%	Nearly all modifications and forms intact since 1910
12.4%	Nearly all modifications and forms intact since 1950
54.7%	Significant post-1950 modification
4.1%	Modern (post-1950) construction



Materials Deterioration



Material Deterioration Phenomena:

8.2% Brick

21.8% Stone

22.4% Pointing

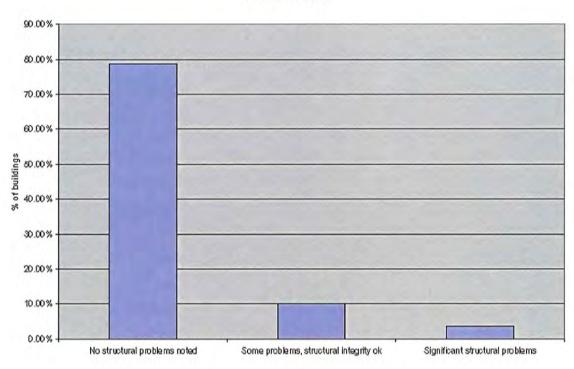
38.9% Paint

30.0% Wood

3.0% Metal





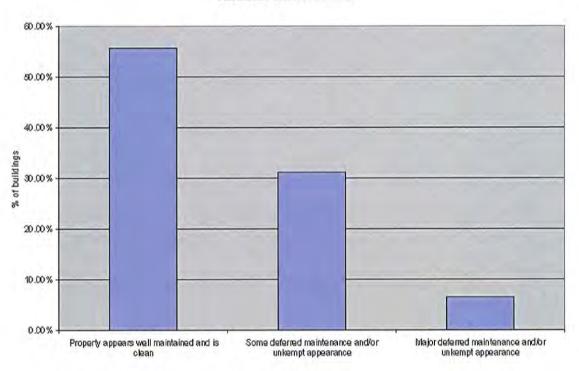


Structural Condition:

78.8% No structural problems noted 10.1% Some problems, structural integrity ok 3.5% Significant structural problems



Aesthetics and Maintenance



Aesthetics and Maintenance:

55.8% Property appears well maintained and is clean 31.2% Some deferred maintenance and/or unkempt appearance 6.5% Major deferred maintenance and/or unkempt appearance

The neighborhood is generally good condition with few houses exhibiting major structural problems or deferred maintenance issues. The majority showed little or no problems. There were few vacant lots, and of those that were without a structure, many appeared to be old losses now filled with gardens. A new house is in early stages of construction on one set of three vacant lots.

While more than half of the buildings had post 1950 modifications, many of the row houses surveyed have a large amount of historic integrity. There are many examples of structures with mostly intact original material. One of the most common alterations is the replacement of windows, often with modern vinyl sash one over one windows, yet examples of original windows can still be found.



In addition to surveying and studying the built environment, the studio examined the public spaces within the site. We aimed to identify how the community interacts or recreates in open space, space considered private versus public, the overall condition of the streetscape, and elements that should be preserved.

After an initial survey, the following types of streetscapes were identified:

Type 1: Entirely Pedestrian
Type 2: Minor Thoroughfares:

Primarily Pedestrian and Light

Vehicular

Type 3: Major Thoroughfares:

Light Pedestrian/High Vehicular

Type 4: Industrial Avenues

Type 5: Alleyways

Fourteen representative streets were chosen and their profile, general description, and condition were recorded. Specific characteristics such as traffic patterns and parking, street furniture, trees and green spaces were noted. Based upon our findings, we highlighted specific features, which contribute to the atmosphere of the neighborhood and should be preserved.

For results of this study, **See Appendix B.3.**



Figure 1: Community garden, Fitzwater Street.



Figure 2: South Street, looking east.



Our assessment of the social factors that might enable or deter a preservation plan began with recognizing the distinction between the preservation of the physical fabric of a neighborhood and the preservation of the social fabric of a community. With this in mind, four influential groups were identified and efforts were made to determine how each group's views affect both aspects of preservation.

Methodology

Residents

Resident values regarding the preservation of their neighborhood were drawn largely from interviews conducted during the first phase of the studio project.

Small Businesses

Interviews were conducted with employees and owners of six local businesses within the community. The interviewees were asked whether their businesses would be expanding in the future, what they felt the implications of an historic district designation would be on their business, and what their personal feelings about historic preservation were.

Developers/Realtors

In the Schuylkill-Southwest neighborhood, there are two important developers: Toll Brothers, Inc. owners of the Naval Home, and Switzenbaum Realty Capital, owners of the John F. Kennedy Building. Additionally there are multiple

realtors representing properties in the neighborhood. Interviews were conducted with both a representative from Toll Bros Inc. and with the owner of Volpe Real Estate. Although no representative from Switzenbaum Realty Capital was successfully contacted, it was learned that the company plans to convert the John F. Kennedy Vocational Training School into high-end lofts.

Community Organizations

Two of the most influential community-based organizations in the area are SOSNA (South of South Neighborhood Association) and Greater St. Matthew Community Development Corporation. Interviews were conducted in order to determine the roles these organizations play in the community.

Findings

Residents

Although historic buildings are not always actively preserved, the physical fabric is highly valued by the current residents of the community. Cultural and economic diversity were also sighted as neighborhood assets that resident's would like to maintain. There is some fear within the community's lower income residents that current development and the ensuing market value increase will raise their taxes and make it impossible to continue living in the neighborhood.



Small Businesses

None of the businesses surveyed had any plans for expansion. Few of the business owners are residents of the neighborhood, nor do they own the buildings out of which their businesses operate. Most interviewed people were generally against the idea of the area becoming an historic district, fearing the designation would create too many restrictions. Some recognized, however, that a designation might attract higher income residents, which they felt would be good for business. Most interviewees expressed a preference for operating business out of newly constructed buildings, arguing that older buildings require expensive upkeep and do not enhance business in any way. With such a small interviewee pool, it is important to mention that two of the business owners surveyed expressed very strong views on the need for preservation in the community. Both considered their businesses' location in an historic building to be a great asset and something that was valued by their customers. The influence of small businesses on the implementation of a conservation plan was determined to be minimal because these establishments did not appear to have a strong voice in the community.

Developers/Realtors

The represen-tative interviewed from Toll Brothers Inc. explained that the company purchased the Naval Home in the early 1980s because it was the largest pieces of undeveloped property near Center City. Several years after being purchased,

a covenant was signed stating that any alterations to the property (including repair of old buildings, construction of new buildings, and changes made to the overall landscape) must follow the Secretary of the Interior Standards and be approved by historic preservation officers on both state and local levels. Although the property remained untouched for almost 20 years after the covenant was signed, Toll Brothers Inc. has recently begun implementing their plan to transform the property into a gated community. The project will take place in two phases and will result in the restoration of the three historic buildings on site and the construction of 20 new buildings. Phase I of the project includes the restoration of both Biddle Hall and its two flanking buildings and the construction of 350 new housing units. During phase II, an additional 200-450 housing units will be constructed. All new buildings will be four-stories high, constructed of brick, and designed to be sympathetic with the historic fabric of the surrounding neighborhood. Other design concerns for the development have focused on the importance of maintaining the visual relationship that currently exists between the Naval Home and the surrounding environment. The targeted demographics for the development are young professionals without children who work in the city or former suburban residents whose children have moved out and who no longer need large houses.



An interview with Vincent Volpe of Volpe Real Estate confirmed that real estate in the study area has become increasingly desirable in the past couple of years. This trend is the result of the proximity of the neighborhood to Center City and the relatively low cost of the housing. Volpe has observed that most of the new buyers are middle class. Because the neighborhood is not designated as an historic district, new buyers can entirely alter their historic buildings. Volpe believes that historic district designation can have a positive impact on the neighborhood as well as on the market value of the housing stock.

Community Organizations

SOSNA is a non-profit corporation that serves as the Neighborhood Advisory Committee (NAC) for Southwest Center City. Their goal is to incorporate citizen input into community development and their programs include the creation of local affordable housing. Walker Gilmore of the Philadelphia Planning Commission is currently working with SOSNA to develop a Neighborhood Plan for the area south of South Street and west of Broad Street. In order to gain community feedback about future development plans for the area, SOSNA has collected questionnaires at each of its community meetings and posted the questionnaire on their website. The survey addresses issues such as transportation, open spaces, community heritage, and land use. So far they have collected approximately 150 forms. However, besides the analysis provided in Chapter One of this report of those surveys pertaining to our area, no analysis of the data has yet been attempted. Gilmore acknowledged that the results from these surveys will certainly be skewed towards the views of those residents that are actively involved and interested in community organization, and, therefore, may not represent the views of the less vocal neighborhood contingents.

The Greater St. Matthew Community Development Corporation (CDC) was founded as a vehicle for community revitalization efforts. The needs of the community were determined by surveying residents. Goals of the CDC include making resources known to those in need, working with the police force, developing after school programs, and encouraging community interaction and communication.

The CDC is currently working on a housing initiative that aims to create affordable housing while sustaining a community that is multi-racial and mixed income. The housing initiative has targeted an initial eight blocks (2400 Catharine Street, 2300 Christian Street, 2400 Christian Street, 900 S. 22nd Street, 2200 Fitzwater Street, 2300 Fitzwater Street, 2400 Gray's Ferry Avenue, and 2200 Montrose Street) on which condemned buildings and vacant lots will be purchased for rehabilitation and new construction. Of this housing, two-thirds will be subsidized and sold to low- to moderate-income families. The remaining one-third of the houses will be sold at market rate in order to cover the costs of the investment. As of December



2003, neither restoration nor design guidelines have been developed for this project.

The housing initiative is being organized by a leadership team from Greater St. Matthew Church with help from the Eastern Pennsylvania Organizing Project (E.P.O.P). Funding is being provided, in part, by the City of Philadelphia and a grant from the M. Night Shyamalan Foundation.

Analysis

The Schuylkill-Southwest neighborhood is in the process of undergoing a significant transformation. Not only are higher-income residents buying homes in the area, large-scale development is currently taking place of both the Naval Home and the John F. Kennedy Building. This development is aimed to attract middle- to high-income residents to this historically working- and middle-class neighborhood. It is reasonable to predict that the influx of this new demographic will encourage the establishment of more service-oriented and high-end businesses. This, in turn, will possibly attract more affluent residents into other areas of the neighborhood. Ultimately, this shift in demographics may have a positive effect on the preservation of the physical fabric of the neighborhood. Although there is interest among current residents in the preservation of the neighborhood's historic structures, there are currently

few efforts geared towards this end. This may be explained by both the high costs of restoring and maintaining historic buildings as well as a lack of information. It is, in fact, the middle-upper income recent homebuyers who are doing much of the current restoration work.

While the arrival of wealthier residents may help to preserve the physical fabric, it will certainly alter the social fabric as rising property values and taxes displace current residents, with the overall result of a lost sense of community. Current residents of the neighborhood recognize this threat to their community, but their concerns can only be addressed through community organization. Currently, the local groups are working to foster pride and empower the community from within, and are tackling issues such as sustaining the availability of affordable housing in the neighborhood. Because one of the primary goals of the current housing initiative is the speedy re-habitation of abandoned properties, their restoration efforts may not be historically sensitive. However, because the majority of the houses will be sold at subsidized rates, the program will help to maintain the social fabric of the community.



Policy Statement

After researching the site and its history, and assessing the environment for the options to be sought of the levels of preservation, a policy statement was developed. The policy statement assists in dictating the direction in which the conservation plan should proceed. The statement reads as follows:

"To provide tools to community groups and stakeholders to protect historic fabric and its contextual landscape through the sustainable management of change."



 $oldsymbol{\Lambda}$ study of the economic impact and benefits of preservation was conducted on the Schuylkill-Southwest area. study supports the idea that preservation can work hand in hand with smart development and stimulate economic growth without financially burdening the existing residents or forcing them to leave the area. Using certain economic tools and incentives, the area can use its existing historic fabric to strengthen its economic base and foster continued growth. Many promising tools beyond tax incentives can be used to empower the neighborhood economically and return money to the community for further rehabilitation. Finally, business prospects, area and transportation and traffic patterns were surveyed and analyzed for their potential to facilitate economic growth.

Tax Increment Financing

The University of Pennsylvania, Graduate Program in Historic Preservation Studio 2003, recommends the enactment of a TIF District in the Schuylkill-Southwest neighborhood. Tax Increment Financing (TIF) is an innovative public-private financing technique that utilizes any increases in local tax revenue to stimulate other local economic development. Prudent enactment of a TIF district is correlated with areas on the cusp of, or at least in the early stages of, concurrent economic development. The monies gained from improvements within a TIF district are reclaimed to fund future district. improvements within а district monies can be rerouted to help develop blighted areas, build and repair roads, develop infrastructure and clean up polluted land. The instillation function to underutilized areas creates new sources of revenue within the TIF district. The improved and productive become permanent properties new,

revenue generators. By capturing the gain from any improvements, a TIF district can generate funds needed to make necessary improvements without raising taxes in the community. (See Appendix C.1 for Lending Structure Diagram)

of TIF districts The popularity as redevelopment tools are increasing each year, as witnessed in their utilization in 44 states across the country.1 Identification of areas eligible for a TIF district is crucial and highly variable, depending on location. Factors for eligibility such as insufficient utilities, sanitary facilities, vacant lots, lack of ventilation or light, obsolescence, and dilapidation or deterioration vary from state to state. Among the criteria in Philadelphia are the underutilization of areas or blighted parcels. Philadelphia's agent designated to administer the TIF program is the Philadelphia Industrial Development Corporation (PIDC). Created in 1958, PIDC is a private, not-for-profit corporation intended by its creators, the Greater Philadelphia Chamber of Commerce and the City of Philadelphia, to promote new job creation and general economic development. PIDC provides and real estate programs financing to business and resident groups in all neighborhoods of Philadelphia. PIDC also provides assistance in the determination of the necessary regulatory and legal approvals, reviewing the requirements of affected utility providers, guiding public action, and establishing a schedule for project implementation.²

The Pennsylvania Tax Increment Financing Act (Act of July 11, 1990, P.L. 465, No. 113, as amended by the Act of December 16, 1992, P.L.1240, No. 164) authorizes the City and School District of Philadelphia to designate TIF districts



for underutilized or blighted parcels.³ The increase in tax revenues may be used to finance improvements in the District or to repay privately financed construction debt for the project over a 20-year term.4 The PIDC TIF Program allows the increase in tax revenue to fund any new improvements such as new construction, building rehabilitation, machinery and equipment acquisition, and limited settlement processing fees. TIF is endorsed in many locations because of its incredible flexibility, as witnessed by the Philadelphia development plan. TIF districts in Philadelphia promote development and provide additional revenue for the City and School District. In Philadelphia, only increases in real estate, use and occupancy, city sales and business privilege taxes are eligible for TIF purposes. 5 The establishment of the TIF district enables the City and School District to receive tax revenues at the pre-development levels as well as the increased revenue from all other new taxes, including the wage, amusement, parking and liquor taxes. 6 (See Appendix C.1 for Summary Schedule of "TIFable and non "TIF-able" Taxes)

The District tax payer continues to pay taxes as usual. The City and School District pays the incremental tax revenues to the Philadelphia Authority for Industrial Development (PAID) which in turn remits the funds to the Lender to repay the TIF Note. The amounts and timing of the TIF Note repayment depend on which taxes are TIF'ed. Currently, the Real Estate Tax, Use and Occupancy Tax, City Sales Tax and the Business Privilege Tax are TIF-able. TIF settlement requires the assessment of base tax values prior to District establishment which is recorded as of the effective date of the Ordinance. The City Finance Director establishes the base rates for all applicable taxes except for the Base Real Estate Tax which the Chairman of the Board of Revision of Taxes establishes.

The general timing and procedures are as follows. First, PIDC determines that the enactment of a TIF District is appropriate. Next, City Council legislation is prepared and a Project Plan is written. The Project Plan includes a description of the pre-TIF District including its boundaries, assessed values, and taxes; the intended physical improvements and projected taxes; and expected costs and funding including loan amortization. The Plan is forwarded to PICA, the Office of the Controller, and the Department of Revenue for review. Finally, the Plan is introduced at a public City Council meeting which has been advertised for thirty days in advance. The vote may be scheduled no less than three-weeks after the public hearing. The ordinance is approved after passage by City Council and authorization of the Mayor.

Philadelphia enacted its most recent TIF district in Philadelphia in June, 2003. The Philadelphia City Council approved legislation to create the Progress Plaza Tax Increment Financing District to revitalize this nation's first African American-owned and operated shopping retail center.7 The total project cost is estimated at approximately \$12.8 million. The TIF district is expected to generate approximately \$3.5 million of funding which will leverage \$9.3 million of private debt and equity.8 TIF districts, like Progress Plaza in Philadelphia, are increasingly becoming more common. The PIDC has worked closely with Progress owners, the City's Commerce Plaza Department, the School District and City Council to manage the legislative process which approves all TIF transactions.



A thirty-member Board of Directors appointed by the Mayor of Philadelphia and the President of the Greater Philadelphia Chamber of Commerce governs PIDC. The PIDC and community group partnerships have produced astounding results. PIDC has assisted with 4,600 individual transactions with combined project costs of \$10 billion. These transactions have contributed to retaining and creating over 385,000 jobs in Philadelphia.⁹

Current legislation includes the Commonwealth TIF Loan Fund proposal. It will offer "a one-two punch to implement tax increment financing projects."10 In addition to trained professional staff that will guide communities with technical assistance, TIF projects will have access to loan guarantees from the Commonwealth (up to a maximum amount of \$5 million per project). The TIF bonds will be issued to the communities through Pennsylvania's statewide bond financing agency, the Pennsylvania Economic Development Financing Agency. This one-two punch is expected to support the credit and marketability of TIF bonds.11 Although this new legislation would benefit many throughout communities the as it is written now, it will not benefit Philadelphia. First and second-rate cities are excluded. The success of such a state-wide initiative however, will likely influence TIF procedures in ineligible cities. (See Appendix C.1 for application package and Philadelphia Approved TIF Districts)

Community Development Banks and Community Development Financial Institutions

In the neighborhood south of South Street approximately 67% of the residents are renters, while approximately 33%

are homeowners. Many vacant lots and abandoned buildings in the Schuylkillneighborhood offer Southwest opportunity for new construction or rehabilitation both as businesses and residences. For these reasons, a community bank chartered for the sole purpose of serving this neighborhood could be the single most influential component in the revitalization of this area. Augmented by tax incentives, various other economic incentives and an improved transportation network, this neighborhood can sustain carefully planned growth to the benefit of all the residents. This kind of smart growth has many positive aspects such as the preservation of historic building stock and maintenance of the traditional plan of row houses and small businesses, without displacing long-term stakeholders in the neighborhood.

The Need for Community Development Financial Institutions

"In response to concerns that banks were not adequately serving the credit needs of their local communities and not treating all applicants fairly, during the 1960s and 1970s Congress passed the fair lending laws and Community Rein-vestment Act (CRA). These laws, aimed at eliminating discriminatory lending practices and encouraging lending to low-income individuals and in low-income areas, have been controversial since their inception. Community advocates argued that the acts were either inadequate or inadequately enforced and that banks continued to channel deposits away from local communities, resulting in inadequate financing for the areas most in need. Bankers argued that they treated applicants fairly and the acts smacked of credit allocation that could adversely affect bank safety and soundness."12



After the collapse of the savings and loan institutions in the late 1980s, the CRA was strengthened due to the fact that lenders were forced into disclosing information applicants. Watchdog about loan groups were now able to track lender's compliance with the Act to prevent unfair policies such as "red lining," a tacitly accepted system of preventing certain areas from receiving benefits from the banking community. It is estimated that 17 million people live in distressed neighborhoods in the United States, and that of the nation's 100 largest cities, one third of the neighborhoods are distressed as well.13 Unrestrained speculative real estate development can bring hardship to underserved areas as well, causing market prices and property taxes to rise. In response, Community Development Banks were created to address the needs of underserved low and middleincome areas, focusing on the needs of the people and business owners in those neighborhoods. Community Development Banks (CDBs) fall under the broader category of Community Development Financial Institutions (CDFIs).

Community Development Financial Institutions

CDFIs are specialized financial institutions that work in markets that have not been adequately served by traditional financial institutions. CDFIs provide a wide range of services including mortgage financing for first-time home-buyers, financing for needed community facilities, commercial loans and investments to start or expand small businesses, loans to rehabilitate rental housing, and financial services needed by low-income households and local businesses. In addition, these institutions provide services such as technical assistance to small businesses and credit counseling.

Certification as a CDFI means that an organization has undergone an application process and meets the U.S. Treasury's CDFI certification eligibility requirements. The six specific requirements, as stated by the U.S. Treasury's CDFI fund, are as follows:

- 1. The organization individually and with its affiliates collectively must have a primary mission of promoting community development;
- The organization must be a financing entity;
- 3. The organization must principally serve a target market;
- 4. The organization must provide development services in conjunction with its financing activities;
- 5. The organization must maintain accountability to its defined target market; and
- 6. The organization must be a nongovernmental entity, and must not be controlled by one or more governmental entities.

The CDFI Fund was created to expand the availability of credit, investment capital, and financial services in distressed urban and rural communities. By stimulating the creation and expansion of diverse CDFIs and by providing incentives to traditional banks and thrifts, the Fund's investments work toward building private markets, creating healthy local tax revenues, and empowering residents. The CDFI Fund provides relatively small infusions of capital to institutions that serve distressed communities and lowincome individuals. The Fund's activities



leverage private-sector investments from banks, foundations, and other funding sources. 14

There are five generally recognized CDFI types¹⁵:

1. Community Development Banks

Provide capital to rebuild economically distressed communities through targeted lending and investment.

2. Community Development Credit Unions

Promote ownership of assets and savings and provide affordable credit and retail financial services to low-income people with special outreach to minority communities.

3. Community Development Loan Funds

Aggregate capital from individual and institutional social investors at below-market rates and lend this money primarily to nonprofit housing and business developers in economically distressed urban and rural communities.

4. Community Development Venture Capital Funds

Provide equity and debt with equity features for community real estate and medium-sized business projects.

5. Microenterprise Development Loan Funds

Foster social and business development through loans and technical assistance to low-income people that involved in very small business or self-employed and unable to access conventional credit.

Community Development Banks

The primary goals of the CDBs are to deliver credit, payment and savings opportunities to communities not well served by banks, and to provide financing throughout a designated area for businesses too small to attract the interest of the investment banking and normal commercial banking communities. ¹⁶ There are six identifiable banking functions:

- 1. Payment system for check cashing and clearing, and credit and debit cards.
- 2. Secure depositories for savings and transaction balances.
- 2. Household financing for housing, consumer debts, and student loans.
- 4. Commercial banking services for loans, payroll services, and advice.
- 5. Investment banking services for determining the appropriate liability structure for the assets of a firm, and placing these liabilities.
- Asset management and advice for households.

The objective of the CDB is to be profitable, and it will be as successful as the projects it finances are profitable. This will dictate close supervision of its customers. Government seed money may be involved (CDFI fund), but the government's investment in the CDB system should be viewed as a profitmaking investment.

The most successful community development bank, and the oldest, is the Shorebank Corporation of Chicago, a holding company that includes a bank, a real estate development corporation,



a small venture capital firm, and the Neighborhood Institute, which offers among its services low-income-housing development, remedial education, and vocational training. On the asset side, its greatest success has been residential mortgages, typically made on the condition that the structures be renovated and improved.

Development Deposits

innovation The most important Shorebank been Development has Deposits, funds gathered from outside the community, from institutions and individuals who share the goals of the corporation. The banks are subsidized to some extent by philanthropists and socially conscious people who are willing to accept a lower rate of return on their money in exchange for doing something they consider an important contribution to society. This asset/liability structure, which also carries federal deposit insurance, has been the key to the success of the corporation.

Because the CDBs are not intended to be welfare programs but to provide services to the community's residents, they must meet the long-run market tests of profitability. The basic assumption underlying the community development bank is that all areas of the country need banks that are clearly oriented toward the small deal: households that have a small net worth; a small IRA account; a small transactions account; and businesses that need financing measured in thousands rather than millions or billions of dollars.

A Community Development Bank for the Schuylkill-Southwest Neighborhood

"Community development banks are a natural focal point for providing financial and business education for their communities, and they may have extra incentives to do so as stakeholders in their neighborhoods. Moreover, unlike government agencies, community development banks have financial incentive for properly allocating funds, provided that the banks are also attracting uninsured investments from other sources. In addition, community development banks mitigate the effects of bigotry by providing an alternative source of lending funds." 18

Economists promote CDBs as the single most effective tool for revitalization of underserved areas. Partnerships can be established between the proposed CDB and neighborhood and community development organizations such as South of South Street Neighborhood Association (SOSNA), Greater Saint Matthew Community Development Corporation, Eastern Pennsylvania Organizing Project (E.P.O.P.), and the M. Night Shyamalan Foundation. Development Deposits from socially conscious organizations individuals can augment the lending power of the proposed bank by increasing the corpus of the loan fund.

Community Development Economics and Heritage Preservation

"Market failure: Markets fail to provide for certain public goods; this basic economic phenomenon (market failure) leads to collective action for the provision of "heritage goods"—most often the collective action is taken by a governmental body. Economists recognize that market failure is the rule, not the exception, in the case of cultural



heritage, and their search for analytical tools and approaches takes off from this insight.

of The roles non-market institutions: Given that markets fail to provide for cultural heritage, economists search for other types of transactions, analytical tools, institutional mechanisms, decision-making processes to take care of the provisioning of heritage goods in society. These efforts often focus on ways of simulating or extending market principles into areas where markets traditionally fail..." 19

The Community Reinvestment Act of 1977 was passed in response to the failure of traditional banks to market their services to areas often within the "red line" drawn from bigotry, class driven segregationist policy, or an overly cautious board of directors uninterested in the good of the whole. The CDFIs that now flourish nationwide counteract the discrepancies of the past, and form a good model for a proposed local CDB in the Schuylkill-Southwest Neighborhood, The 3% loans made available to residents of Savannah, Georgia in the 1970s for rehabilitation of historic structures, is without question the impetus for that city's rebirth and the preservation of the nation's second largest National Register Historic District.

A profitable bank whose mission is the improvement of the Schuylkill-Southwest neighborhood will encourage homeownership, engendering a higher level of stewardship of the built environment, and the opportunity for residents to build financial equity and stability for themselves and their families.

Economic Incentives Available to the Community

In addition to establishing a TIF district and a community bank, the Schuylkill-Southwest area can tap into community, city, and state based economic incentives and initiatives. Several programs are available to assist homeowners in the purchase, repair, and upkeep of their homes.

Many programs provide loans to low and moderate income homeowners to provide for basic system repairs in the home. The studio site has been selected to be eligible for the Targeted Basic System Repair Program, which helps selected neighborhoods that are at risk of deterioration. Other programs provide first time homebuyers with pre-purchase counseling and award grants towards closing costs. The Philadelphia Home Improvement Loan, additionally, provides loans of up to \$25,000 to qualified homeowners.

Several other programs are available to assist homeowners in the purchase, repair, and upkeep of their homes. These programs are available through both the city of Philadelphia and the state of Pennsylvania.

1. Basic Systems Repair Program

Free emergency repairs to electrical, plumbing and/or heating systems of an owner-occupied property.

2. Gift Property

Vacant city owned properties are made available to applicants who can complete requires repairs.



3. Homestart

Vacant city owned houses, rehabilitated and sold at below market prices for qualified first time homebuyers.

4. Settlement Grant Program

Provides up to \$800 to first time homebuyers who complete prepurchase counseling.

5. Property Tax Relief

A proposal that is currently in committee at the state legislature. If passed it will offer homeowners and average property tax reduction of 30%. The average tax reduction will be at least 15% in every school district, and in communities with high concentrations of limited and low-income residents the minimum average will be at least 30%.

6. Department of Community and Economic Development Housing Rehabilitation

Assistance to low and moderateincome homeowners to repair their homes in compliance with the new statewide building code.

7. Weatherization Assistance Program

Assistance to low-income households to reduce their energy bills through low cost repairs to homes designed to reduce heating and cooling costs.

8. PA Housing Finance Agency

9. Purchasing/Improvement Loans

Created to improve the supply of available housing for low and moderate-income families, the elderly and the disabled. Operates in three areas, rental housing construction and rehabilitation, homeownership, and mortgage foreclosure assistance.

Affordable Housing Possibilities for Schuylkill-Southwest

Gentrification involves a large influx of private resources into a neighborhood. Once a disinvested neighborhood such as our 2003 Studio Site, Schuylkill-Southwest, is "discovered," it faces an influx of people who can usually pay more than the current residents. Once there is enough new investment to make the area more attractive, the housing market starts to contract, and prices start to rise.

In the last decade Center City and especially Southwest Center City has seen an increase in both homeownership and sales prices. Between 1995 and 2000, the prices of houses in one Southwest Center City zip code, 19146, increased by 120%.19 The City of Philadelphia approved a 10-year tax abatement for conversion of vacant commercial and industrial buildings into residential space in 1997. Recently, the City also approved another ten-year tax-abatement for new construction in 2000. Together with a high demand for residential space, these incentives are encouraging developers to invest in previously disinvested neighborhoods in the immediate vicinity of Center City such as Schuylkill-Southwest.

In addition to the increase in sales prices of the existing housing stock, there are also several plans underway for the creation of new housing in the neighborhood. The Naval Home owned by the development company Toll Brothers, which will restore the three existing buildings on site, and build 20 new ones to accommodate between 550 and 800 housing units. In the industrial area west of Grays Ferry Avenue, the JFK Vocational School Building (formerly the Marine Corps Warehouse) has been bought from the city with the intent



of conversion into high-end lofts. Both development plans will attract middle- to high-income residents into a traditionally low- to middle-income area. According to demographic trends, it is expected that the majority of the new residents will be single, married with no children, and "empty nesters." In communities such as this one where the housing market is tight, or where new investment is improving the physical appearance of the neighborhood, gentrification puts housing affordability at risk. In the area south of South Street approximately 67% of the residents are renters, while approximately 33% live in houses they own.20 Renters who are renting on a month-to-month basis with no lease are vulnerable to rapid price increases. Those who have leases face large increases at lease renewal, and may also face harassment aimed at replacing them with higher income tenants. As prices rise, low-income homeowners may feel pressure in the form of increase property taxes, especially if they are living on a fixed income.

Neighborhoods that face this cycle without a stock of housing that has some restrictions keeping it affordable can experience large amounts of displacement, a change in character, and a general loss of community. Permanently affordable housing can slow such dramatic shifts in population, allowing long-time residents to remain and take advantage of gentrification, and helping to preserve the social fabric of the neighborhood.

Another major developer in the neighborhood is Greater St. Matthew Community Development Corporation. Partnered with the City of Philadelphia, Eastern Pennsylvania Organizing Project (E.P.O.P.), and the M. Night Shyamalan Foundation, this neighborhood church aims to revitalize the community by

purchasing approximately 60 condemned buildings and vacant lots within immediate vicinity, and reselling a portion of them at market rates. The Partnership plans to restore the existing buildings, and build new construction on the vacant lots. The long-term goals of the housing initiative are to sustain a mixed-income community, and to improve the general quality of life in the neighborhood. Two thirds of the properties will be subsidized and reserved for low-income buyers. In addition, the Partnership will provide financial counseling, and home improvement loans to help low-income individuals become homeowners, maintain their properties.

There are many other ways of creating affordable housing. sustaining Some of these are regulating the private nonprofithousing market; creating owned affordable housing; increasing affordable homeownership opportunities; encouraging resident-controlled limitedequity ownership; and leveraging marketrate development. What makes one option more viable than another depends upon a number of factors such as the availability of vacant housing or land that could be used more efficiently, the capacity of the community to organize itself to deal with public agencies, local government, and private interests, and whether there are community members who work in construction, banking or real estate.

Regulation of the Private Housing Market

Although a very effective tool, regulation of the private housing market is controversial and hard to initiate. Business interests claim that market regulatory tactics such as rent control are a symbol of oppressive government regulation and have waged an often successful battle



against it. Rent controls only remain in New York City, New Jersey, Washington D.C. and California.²¹

Creation of Nonprofit-Owned Affordable Housing

Non-profit owned affordable housing often involves the combining of private and public funds in order to subsidize sales prices or rental rates for low-income people. In non-profit-developed rental housing, the non-profit owns the housing and rents the units to tenants in certain income ranges or with particular needs. In non-profit developed ownership housing, the housing is sold to homebuyers in certain income ranges. Funding for affordable rental housing is much more available than for ownership housing. It is also often more cost-effective to provide affordable rental housing than affordable homeownership programs. Development of such programs requires much expertise. HUD funds technical assistance to start community-base nonprofit housing organizations (CHDOs). Other organizations that provide advice and support are:

- · Local Initiative Support Corporation
- · The Enterprise Foundation
- Corporation for Supportive Housing
- National Congress for Community Economic Development (NCCED)
- Neighborhood Reinvestment Corporation
- Pennsylvania Low Income Housing Coalition.

Increasing Affordable Homeownership Opportunities

The Greater St. Matthew Community Development Corporation incorporates many of the tools to increase affordable homeownership opportunities. There is also self-help, or "sweat-equity" housing, where would-be homebuyers help to construct or renovate a building in order to reduce the cost of buying a house. Often a neighborhood organization or a group of volunteers (such as Habitat for Humanity) are also involved.

Encouraging Resident-Controlled Limited-Equity Ownership

In limited-equity affordable housing, residents own their units. However, the ownership is limited in certain ways in order to make the unit more affordable to the initial buyer and future owners. There are usually limits on the price at which the housing can be resold or leased, and sometimes to whom. These restrictions may appear in the deed, lease, or some other legal document. There are limitedequity condominiums in which each household owns its own unit, and a condo association owns the rest of the building. There are also limited-equity cooperatives, and community land trusts. In the former, each household owns a share of the cooperative housing corporation that owns the entire property. In the latter, each household owns it own unit, but the land is owned by a non-profit communitybased organization which is controlled by residents of the housing and non-resident members of the community.

Leveraging Market-Rate Development

Community groups can take advantage of development pressures to create housing or to gain financial resources for subsidizing affordability in other developments. This can involve requiring or providing incentives for market-rate development to include a percentage of below-market rate units in new



developments. Alternatively, local land use policies such as inclusionary zoning can require fees from new development or even land donations to enable others to develop subsidized affordable housing. Localities often need to offer some tradeoff to the developer, such as density bonuses or other zoning incentives. Tracking the units created and maintaining their affordability over the long term are the most difficult aspects of affordable housing created through inclusionary zoning. In the case of ownership housing, deed restrictions and right of first refusal can be used to ensure these goals. In the case of rental housing, it requires more active regulation and enforcement by an outside group, such as government, lenders, or community groups.

Finding a funding source to pay for affordable housing or other community development is crucial to antigentrification work. If the community is seeing lots of job-creating development but not enough affordable housing, an impact or linkage fee can be assessed on new industrial, commercial, and office development. Linkage fees are charged to compensate the community for the increased burden on the housing market new job development creates. Linkage fees are used for affordable housing, and are often directed into a housing trust fund or something similar. Because market-based strategies often require the passage of citywide laws or even regional agreements, they involve extensive coalition work or electoral action, which can be a good opportunity to build involvement and organization in the community.

All the tools discussed above require some degree of technical, real estate, and legal expertise. It is important for communities facing gentrification to ally themselves

with organizations and individuals within and without the community who are willing to contribute their expertise in these fields. Supportive elected officials can help gather those resources. There also non-profits and individual attorneys who can provide this help, but such expertise is sometimes hard to find. Ultimately, organization, patience, and persistence are the most important factors in battling gentrification-induced displacement. It is often a group of well-organized individuals with term goals, working with government and philanthropic bodies that succeed in creating, and sustaining affordable housing.

Since it is already attracting marketdevelopment, capturing benefit rate from market-rate development is one of the most viable tools for Schuylkill-Southwest. Using the market can create new affordable housing or local funding without the need for a lot of community development capacity. However, taking existina advantage of market-rate development can at best mitigate the pressures of gentrification, since the affordable housing it creates is typically small relative to local needs. Therefore, market-based strategies must be used in conjunction with other affordable housing strategies.

Economic Development

Within the 2003 Schuylkill Southwest Studio site the potential for economic revitalization is evident especially within its business corridor along South Street and clusters of businesses along Grays Ferry, 22nd Street and Christian Street. It is important to educate the community about the opportunities that are on hand. Local initiatives in conjunction with the potential designation of a TIF district,



National Historic District, and perhaps a Main Street program for South Street can improve this neighborhood. Several organizations and contacts are available to residents to voice their concerns and wishes for the neighborhood and help Community become a reality. them South organizations such as the Philadelphia Business Association, South Street West Business Association, and South of South Neighborhood Association (SOSNA), are available and working with city officials in order to improve the conditions of the area our studio site lies within. This is not an overnight process, but with patience and group effort, the changes that will occur in the near future, such as the development of the Naval Home and the J.F.K. Vocational Training School, can be managed and residents will be better prepared for these changes.

Historic preservation cannot act as the only tool in revitalizing this neighborhood; money needs to be invested into the neighborhood in order to put function back into the community. Residents of the neighborhood who want to start a business have the opportunity with almost two dozen vacant buildings to choose from. From surveys conducted by the Philadelphia City Planning Commission, residents of the neighborhood would love to see more chain stores, restaurants, corner stores to establish mixed-use districts.

Methodology

Twenty-three buildings were selected through a survey of the neighborhood recording the location of vacant buildings that had the appearance of the use of a former store. Photographs were taken and a GIS map was designed to illustrate the relationship between the vacant buildings and existing businesses. From this map,

zones where new businesses had the greatest potential of success were chosen based on the location of vacant buildings, proximity to viable commercial properties and pedestrian traffic, assessment of the building condition and its context, and the density of businesses as well as major thoroughfares. Using data collected from the "People on the Street" (POTS) interviews and comments from workshops held by the Philadelphia City Planning Commission, recommendations will be made for the business types that could be brought into the community, and suggest potential locations for these new businesses.

Vacant storefronts were located at the following addresses:

- 2050 South Street
- · 2052 South Street
- · 2038 South Street
- 2220 South Street
- 2001 Kater Street (NW corner of Kater and 20th Streets)
- 2001 Fitzwater Street (NW corner of 20th and Fitzwater Streets).
- 724 S 20th Street
- 730 S 20th Street
- 732 S 20th Street
- 747 S 20th Street
- 2101 Catherine Street (NW corner of 21st and Catherine Streets)
- 2301 Christian Street (NW corner of 23rd and Christian Streets).
- 2446 Christian Street (note: on GIS map, address is 2454-2456 Christian Street)
- 2250 St. Albans (SE corner of St. Albans and 23rd Street)
- 2149 Catherine Street (NE corner of 22nd and Catherine Streets)
- 2146 Catherine Street (SE corner of 22nd and Catherine Streets)
- 2201 Catherine Street (NW corner of 22nd and Catherine Streets)
- 2247 Grays Ferry Avenue



- 2243 Grays Ferry Avenue
- 2313 Grays Ferry Avenue (NE corner of Pemberton Street and Grays Ferry Avenue).
- · 2619 Christian Street
- · 2623 Christian Street
- 2351 Catherine Street

Findings

Of the 23 buildings, I have chosen 10 that are in good locations for a potential business to set up shop. Buildings along South Street and Grays Ferry are good candidates because these are main thoroughfares for transportation and people. These are the streets that act as a buffer from largely commercial properties to largely residential properties located in our studio site. Christian Street at the southern border of our neighborhood is not the business corridor like South Street; however, the presence of corner stores gives the street a balance between residential and commercial, where small neighborhood stores and restaurants are ideal. 22nd Street is similar to Christian Street with regard to the corner stores, but these small businesses are clustered toward the lower section of 22nd toward Christian Street. (See Appendix C.1 for Existing & Potential Business Sites)

The six areas, circled in red in the above GIS map, selected for potential commercial development include ten buildings:

- · 2050 South Street
- · 2052 South Street
- 2220 South Street
- 2149 Catherine Street (NE corner of 22nd and Catherine Streets)
- 2146 Catherine Street (SE corner of 22nd and Catherine Streets)
- 2201 Catherine Street (NW corner of 22nd and Catherine Streets)
- · 2301 Christian Street (NW corner of

- 23rd and Christian Streets).
- 2247 Grays Ferry Avenue
- · 2243 Grays Ferry Avenue
- 2313 Grays Ferry Avenue



Figure 1: 2050 (left) & 2052 (right) South Street

Façades are in good condition and properties are located along the South Street business corridor at the intersection of 21st and South Streets. Next door at 2054 South is the M.A.B. Paint Store, which is right across the street from the South Street Rhythm & Blue bar. On the north side of South Street is the Ten Stone bar.



Figure 2: 2220 South Street

Right in the heart of the South Street business corridor, the building appears to be in good condition and at an ideal



- location for a new business to move in.
- Businesses in proximity include Woven Treasures, Bicycle Therapy, Cat Vet of South Street, Psychic Reader, Phoebe's BBQ, and Century 21.

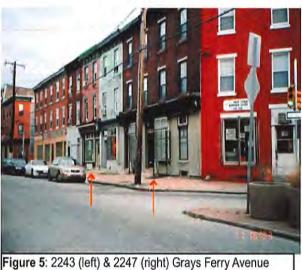


Figure 3: Corner of 22nd and Catherine Streets looking east 2149 Catherine on the left & 2146 Catherine on the right)

- Both buildings are in relative condition and located ideally on corners of a mixed-use street with the presence of both corner commercial and residential properties.
- Opposite 2149 Catherine and on the north side of 2201 (another vacant property) is the Lucky Day Chinese Food restaurant and take-out.



- Just south at the intersection of 22nd and Christian Streets are Young's Laundromat Cleaners, La Universal Grocery, and Victor's Tavern.
- Façade also appears to be in relatively good condition.
- Located at the northwest corner at the intersection of 23rd and Christian Streets and just one block south of the New Temple Baptist Church between Norfolk and Madison Squares.
- Commercial properties are located on the opposite corners of the intersection.



- Buildings again are in good condition and located along Grays Ferry which is a major thoroughfare.
- Among commercial properties including Kelly's Tavern, South Square Hardware, and QLC Technicians.
- Properties are also just one block north of the Naval Home.





- Obviously all boarded up, but good condition nonetheless.
- Located major thoroughfare with high traffic both vehicle and pedestrian.
- Just north of the Greater Saint Mathew Church and across the street from the Naval home.

Due to time constraints it was not possible to conduct a detailed need-base analysis to evaluate what type of businesses residents want and hence formulate recommendations for specific businesses and their exact location. However, in developing the statement of significance "people on the street" (POTS) interviews were conducted in order to gain some knowledge of how residents felt about the condition of their neighborhood, and one of the survey questions asked what amenities regarding services and commercial activity they felt was missing and/or needed in the neighborhood. The most common responses included a post office, better grocery stores, a library, bank, more restaurants and a variety of entertainment venues.

Speaking to Barry Cassidy of the South Street/Headhouse District, an organization that holds social and holiday events and acts as a representative organization

for the community, he informed me of the limitations and difficulties in placing private institutions such as a post office and library into the neighborhood. In an article from the Philadelphia Inquirer dated August 7, 2003, it was announced that the United Postal Service decided to move the postal distribution operation to Southwest. By 2006, changes will become visible, but this will be one less location in close proximity to the neighborhood for postal services. The closest post office to the neighborhood is Middle City, located at 2037 Chestnut Street. Some residents may also use the Schuylkill office located at 2900 Grays Ferry Avenue. Within a mile of our studio site there are approximately eight post offices, and considering the easy access to bus routes, it would be difficult to make an argument for the insertion of a local post office into the neighborhood regardless of the desire to do so. Since the fiscal year 2003-2004 budget has cut state aid to public libraries by 50%, it would be just as challenging to place a library in the studio site. Private funding would be needed to establish and maintain a local library in the neighborhood.

Philadelphia City Planning The Commission did a series of workshops for the residents in our study area as well, however the boundaries of their survey area extended slightly beyond ours. Under the economic development changes category, community members would like to see more restaurants, fewer liquor establishments (nuisance bars v. restaurants), adaptive reuse/mixed used districts, more chain stores, parking lots and corner stores. Homeowners and owners would like to benefit from more resources to open development opportunities to al and address housing affordability. Additional land-use changes people would like to see include re-



introducing light and corner stores into residential areas, placement of a library in the neighborhood, and the creation of jobs for community residents.

Recommendations: The Main Street Program

Main Street is a local initiative and interest in the program usually comes from business or property owners, city government, bankers, civic clubs, the chamber of commerce or historic preservationists. Community leaders in both public and private sector - discuss goals, establish an organization - Main Street programs are usually independent non-profit organizations - raise money to hire a Main Street manager, and create committees and a board of directors to carry out the work. Once established, program's participants examine the the commercial district's needs and opportunities and develop a long-term, incremental strategy based on the Main Street Four Point Approach to strengthen its commercial activity and improve its buildings.

Main Street is a symbol of community economic health, local quality of life, pride, and community history. A vital Main Street retains and creates jobs, which also means a stronger tax base. Main Street is also a good incubator for new small businesses. A healthy Main Street core protects property values in surrounding residential neighborhoods. The traditional commercial district is an ideal location for independent businesses, which in turn keep profits in town, supports local families with family-owned businesses, and provides an extremely stable economic foundation, as opposed to a few large businesses and chains with no ties to stay in the community. Main Street also provides an important civic forum, where members of the community can congregate. Parades, special events and celebrations held there reinforce intangible sense of community.

Main Street Program has been incredibly successful, making it one of the most powerful economic development tools in the nation, by focusing on historic preservation and retaining community economic statistics character. The provided by the National Main Street Center of the National Trust for Historic Preservation are a proof of the program's success. Out of 1,700 communities, the total amount of public and private reinvestments in physical improvements to Main Street communities since 1980 is \$17 billion with the rehabilitation of 93,734 buildings. The net gain in businesses is 57,470 with a net gain in jobs of 231,682. The average program length to date is about 7 years.

The National Main Street Center of the National Trust for Historic Preservation has been in operation since 1980 and has worked with communities throughout the United States to revitalize their historic or traditional commercial areas. The Main Street Program is designed to improve all aspects of the downtown or central business districts. Improving economic management, strengthening public participation, and making downtown a fun place to visit are as critical to Main Street's future as recruiting new businesses, rehabilitating buildings, and expanding parking. It's about creating a sense of place and community.

The state of Pennsylvania has two coordinating Main Street Programs with the National Trust for Historic Preservation: the Department of Community and Economic Development and Pennsylvania Downtown Center, both



located in Harrisburg. The mission of the Pennsylvania Department of Community and Economic Development (DCED) is to "foster opportunities for businesses and communities to succeed and thrive in a global economy, thereby enabling Pennsylvanians to achieve a superior quality of life." The Main Street program is part of the New Communities Program, which also includes Enterprise Zones and Anchor Buildings, where there are planning, operational and development grants available for these programs.

The Main Street Manager Component is a five-year program designed to help community's downtown economic effort development through the establishment of a local organization dedicated to downtown revitalization management of downtown and the revitalization efforts by hiring a full-time professional downtown coordinator. The Downtown Reinvestment and Anchor Building components use business district strategies to support eligible commercial related projects located within a central or neighborhood business district. The program has been merged into the New Communities Program.

Pennsylvania Downtown Center (PDC) is a state wide membership based nonprofit organization whose mission is to promote and support the vitality of downtowns across the Commonwealth. In addition to their membership services, they have a contract with the DCED to provide technical assistance and training to communities currently in the state funding cycle of the Main Street Program (under the New Communities program). DCED administers all funds for the program. The Main Street Approach is trademarked by the National Main Street Center Nation Trust. PDC has a State Coordinators package with the National Main Street Center which is, in a sense, a licensing fee to use the Main Street Approach. That package is part of their contract with DCED.

Four key components known as the Four Point Approach guarantee the success of the Main Street Program:

1. Design

This entails enhancing the physical appearance of the business district. An inviting atmosphere can be created through window displays, parking areas, signs, sidewalks, street lights, and landscaping. Issues regarding physical improvements, planning and zoning, and parking and transportation, ought to be considered.

2. Promotion

This means marketing the unique characteristics to shoppers, investors, new businesses, tourists and others. Special events highlighting community heritage, special holidays and social events will bring attention to the development of a Main Street.

3. Organization

This means getting everyone working toward common goals. Forming partnerships and recruiting volunteers from all the stakeholders are keys to success.

4. Economic Restructuring

This requires strengthening the existing economic base of the business district while diversifying it.



Transportation Circulation and Parking

Transportation is an important factor in seeking to revitalize a neighborhood. The ability to get to and from the neighborhood is essential for businesses and individuals who wish to live and operate there. Although improvement of commercial and retail services will be an asset for residents, it is important that outside individuals contribute to this economic growth by having access to the area. Businesses cannot solely rely on the residents of the neighborhood to survive. In the same manner, residents of the neighborhood occasionally have to go far to find things not available in the businesses within the neighborhood.

Transportation plays a key role for people who commute to work through public transportation and for students who attend schools outside of the neighborhood. (South Currently, Septa Eastern Pennsylvania Transit Authority) provides service through the 40, 7, and 12 bus lines. The available public transportation seems sufficient for now but does not accommodate the people affected by the factors mentioned above. Despite the neighborhood's relative proximity to Center City, few people transit to Center City. For farther distances, access to regional rail lines or to the subway are beyond walking distance. As of now, there are no trolley or subway lines. (See Appendix C.1 for Septa Bus Routes within the Neighborhood)

Documentation of traffic directions and parking trends combined with the analysis of vacant storefront properties provide the basis for determining possible locations for new parking, best locations for new businesses, development of corners, and new opportunities for the neighborhood

to improve. A study of circulation through a neighborhood determines where there will be traffic congestion, what stores are visible, what areas would provide better opportunities for new businesses to grow, what areas need improvement, and what areas are ignored. (See Appendix C.1 for Movement, Access & Parking)

Possible Establishment of a Parking Management District

In a parking management district, each property is levied a fee, based on the assessed value of the property, which is used to support the functions of the district. The district is responsible for parking-related maintenance, security, taxes, enforcement, utilities, signage, etc... Fee collection can be facilitated by the local government, by being included as a separate line item on property tax bills. A parking district is typically governed by an oversight committee elected by the members of the district. The oversight committee is responsible for supervising the district and responding to the concerns of its members.

What is Shared Parking?

Shared parking is a tool through which adjacent property owners share their parking lots and reduce the number of parking spaces that each would provide on their individual properties. Shared parking has been used extensively in traditional neighborhood commercial nodes and downtown settings for decades. In these locations, there are high-density offices or apartment buildings, with shops and restaurants lining the sidewalks. People often park in one spot and then walk from one destination to another. The effect is that those various uses share the same parking spaces. Shared parking is being used more and more in conjunction



with new development. If adjacent land uses have different peak hours of parking demand, then they can share the same parking spaces.

Recommendations:

Shared parking works best in situations where there are somewhat dissimilar land uses, with different peak hours of use - i.e., a hotel and an office, or a home supply store and a movie theater. A traditional mix of uses (in the form of a "Main Street" environment) is not necessary, but the combination must be varied enough to generate different peak times of demand. Parking districts are particularly well-suited for locations with multiple small property owners in a compact, pedestrian-oriented setting. Such an environment is conducive to walking, and therefore, most customers will prefer to park once and then circulate on foot. The parking district allows many businesses to share the same pool of parking, a desirable outcome in locations where parking is in short support. In a compact environment, where parking spaces are in short supply, on-street parking is a critical resource. Those onstreet spaces should be managed by the parking district as well. They should be metered, as the turnover of on-street spaces is particularly important for business, and they should be redesigned in conjunction with the redesign of the off-street lots.

Shared parking spaces should be located within a reasonable walking distance of all the destinations they are intended to serve. Generally, the preferred parking-space-to-front-door distance that a person is willing to walk for shopping or work is 400 to 800 feet, and the maximum is generally 1,200 feet. In addition, walkways, crosswalks, decorative paving,

stop signs for cars, and landscaping are needed to allow ease of walking through the parking areas, such that the shared parking area is well-integrated with each of the sites that it serves.

The creation of a parking management district opens up the opportunity of comprehensively redesigning the parking lots. Rather than having a series of smaller-sized parking lots divided by arbitrary lot lines with landscaped buffers, lots can be consolidated and circulation systematized, with more creative and effective landscaping, pedestrian circulation, and lighting.

Users are generally accustomed to paying for parking in a neighborhood or downtown environment. Because parking is limited, paid parking will encourage some people to walk, carpool, or use transit, rather than driving. Also, paid parking encourages greater turnover of parking spaces, which is critical for businesses in an environment where parking is in short supply.

Even though all spaces in a parking district are shared, property owners often maintain title over the portions of their properties that lie within the common parking field. If the membership in the district exempts the owner from making available a minimum number of spaces on his or her property, the owner could potentially remove the parking spaces on the property to make way for an addition. Such an action would remove spaces from the district while creating additional parking demand through the increase in building space. When the parking district is established, rules should be set up to determine whether such an action would be permissible and what the property owner's obligation would be to the district. For example, the district bylaws could stipulate that a property



owner could undertake an expansion only if he or she provides additional spaces elsewhere. Similarly, rules would have to be established in the case of a district expansion or contraction.



The importance of designations

of stated in the Statement Significance Chapter the in Two, Schuylkill-Southwest neighborhood has historical and architectural significance in its built environment. It is significant as an area where original land uses can still be read in the current streetscape. The dominant traditional land use is residential. Its significance lies in the regularity of layout and the homogeneity of building types. The significance is in the continuum of rowhouses, block by block rather than in the characteristics of individual properties. Hence, the key point of the preservation of Schuylkill-Southwest neighborhood is protection at the district level.

Historic designation is crucial to ensure physical character of that the neighborhood as a district be preserved and protected. Only legal constraints based on popular support can control the many activities such as new constructions, alterations, and demolitions, could affect the historic integrity of the neighborhood adversely. In particular, to protect and control an area composed of many privately owned properties of various use, official regulation is the only way to ensure control the whole area.

Historic designation does not have a negative economic influence

Sometimes historic designation, especially district designation, is accused of causing gentrification. Gentrification can be defined as the process of replacement of traditional local population with newcomers with higher income.

There is also a differentiation between historic district designations: one is local historic district designation (in the context of this studio study, it is Philadelphia Historic District), the other is National Historic District in context of National Register of Historic Places (NRHP).

As to designation of national historic district, gentrification does not happen in principle because NRHP does not restrict what a private landowner may do with his or her property, such as tearing down or any alterations. Therefore property values are not frozen due to creation of national historic districts.

As to local historic districts, in general, property values within historic districts rise at a rate greater than the local market as a whole. But it does not mean gentrification immediately occurs. Historic district designations enhance property values: The creation of a district often stimulates significant private investment, which also creates new jobs. Also, most often, historic districts protect properties from wild fluctuations in values in the market. Homeowners can have confidence in buying properties in a district because it is assured that neighborhood surrounding their houses will remain unchanged over time. Historic districts act as stabilizers and do not reduce property values. Income distributions of residents Philadelphia Historic Districts are about the same as with other areas of the city. Racial diversity is much greater in Philadelphia Historic Districts than in rest of the city. When creation of a historic district is planned clearly and carefully, local historic districts will be able to have the greatest positive impact on property values. Therefore the community does not need to presume that historic designation is detrimental economically.1



What designations are available?

There are national and local levels of historic designations.

National level is:

 National Register of Historic Places (NRHP)

Local levels are:

- Philadelphia Register of Historic Places (PRHP)
- Neighborhood Conservation District (NCD)

The NCD ordinance is still a draft as of 2003 and is not available at this point. Yet we will discuss NCD in this section because the most important thing is that the community is informed and aware of this NCD designation that will be available in the future.

Under NRHP and PRHP, both individual properties and groups of properties (district) can be designated. Benefits and requirements differ between national and local designation. Details are discussed below. Though designation as individual and district is administered under the same ordinance, we will discuss the designations separately because the nomination process and possible effect would differ between individual and district designations.

Summary of Recommendations

primary recommendation Our nomination of the entire residential area Schuylkill-Southwest neighborhood as a Philadelphia Historic District. These designated areas can get the highest possible protection from demolitions, inappropriate alterations or new constructions. Besides, owners of contributing properties in the designated area will be entitled to receive State Historic Preservation Tax Credit for rehabilitation as well as other grants.

A second and possibly simultaneous recommendation is nomination of the residential area of the Schuylkill-Southwest neighborhood as a National Historic District in the National Register of Historic Places. Though this designation does not give as strict protections as local historic district does, there will be a positive impact and additional benefits such as eligibility for federal tax credits.

As mentioned above, the Neighborhood Conservation District ordinance is not officially adopted yet and may take a few more years to become law. We recommend the community follows the status of the NCD ordinance. Once NCD ordinance is adopted, then our recommendation for the community is to nominate the residential area of Schuylkill-Southwest neighborhood (excluding the industrial area) to NCD as an overlay designation over local and/or National Historic District. However in reality the situation might be that the majority of neighbors do not wish to pursue local historic district because of its relatively strict restriction on land use, construction, etc. In that case, NCD might be a start to all historic designations. NCD is a rather loose protection of an area compared to local historic district, yet it is still worth pursuing because it gives a certain level of control and also contributes to promotion of residents' awareness of preservation of their own neighborhood. The drawback, though, is that there is no economic incentive related to the NCD.

As to individual designation of properties, other than specified below, there could be more potential properties which are eligible for local or national designation.



Though the Preservation Studio did extensive research of the study site, we did not research property by property in detail. Therefore there is a possible that one day somebody would like to pursue an individual building nomination historical, architectural for its cultural significance that we have not recommended. It is recommended for community members that once they find potentially eligible property, they would think of historic registration as a way to ensure its protection.

Though historic designation is a powerful and effective tool for preservation, we would like to stress that the most essential tool for preserving historic neighborhoods proactivity, the awareness and and initiative of commitment, neighbors themselves. We recommend historic designation issues be brought to community meetings and start to be discussed among neighbors. participation of community members, no historic designation will be successful.

Philadelphia Historic District (PHD)

Summary of Philadelphia Preservation Ordinance

Designation means the listing by the Philadelphia Historical Commission (PHC) of a building, structure, site, object or district on the Philadelphia Register of Historic Places. Listed cultural resources all have a recognizable place in the historical, cultural, architectural, archeological and educational values of the city, the state or the nation. The Historical Commission exercises jurisdiction over any work that requires a building permit or that changes the appearance of designated properties.

To be registered, a building, structure, site, object, or district must meet at least

one of following criteria:

- (a) has significant character, interest or value as part of the development, heritage or cultural characteristics of the city, commonwealth or nation or is associated with the life of a person significant in the past; or,
- (b) is associated with an event of importance to the history of the City, Commonwealth or Nation; or,
- (c) reflects the environment in an era characterized by a distinctive architectural style; or,
- (d) embodies distinguishing characteristics of an architectural style or engineering specimen; or,
- (e) is the work of a designer, architect, landscape architect or designer, or engineer whose work has significantly influenced the historical, architectural, economic, social, or cultural development of the city, commonwealth or nation; or,
- (f) contains elements of design, detail, materials or craftsmanship which represent a significant innovation; or,
- (g) is part of or related to a square, park or other distinctive area which should be preserved according to an historic, cultural or architectural motif; or,
- owing to its unique location or (h) physical singular characteristic, represents an established and familiar visual feature of the neighborhood, community or city; or,
- (i) has yielded, or may be likely to yield, information important in prehistory or history; or
- (j) exemplifies the cultural, political, economic, social or historical heritage of the community.



The Schuylkill-Southwest neighborhood meets **Criterion (a)**.

Permit and Design Guidelines

Once designated, owners must follow design guidelines, which are provided by PHC, and must apply for certificate of compliance to alter building exterior, demolish properties or construct new buildings. Proposed work is evaluated by PHC according to *Secretary of Interior's Standards for rehabilitation*. However, a more comprehensive set of guidelines has been prepared, for the use of the community, by Penn Preservation Studio 2003.² Following these guidelines should facilitate the appropriate process for any building permit.

Benefits

- Protection against inaccurate or unsympathetic alterations and unnecessary demolition offers a means to assure the preservation of the character of a neighborhood. Historic designation empowers a community to retain its physical integrity. In Philadelphia and other cities, this has helped to enhance property values and to foster community pride. In addition, owners may request technical assistance from the Commission staff. Finally, for many, the ownership of a recognized cultural resource brings with it a satisfying sense of trusteeship of the past for the future. Owners of properties on the Philadelphia Register may apply for a Philadelphia Historical plaque. Interested Commission persons should contact the staff to request a plaque application.
- Additionally, at the state level, the Pennsylvania Historic Preservation Tax Credit bill is expected to pass

the Pennsylvania Senate and become effective in the near future. Once it happens, property owners in Historic District can be eligible for a tax credit. Benefits include: a 20 % state income tax credit to individuals who purchase and restore older residential properties in historic districts or neighborhoods, and a waiver of the state sales tax for owner-occupants on the cost of materials and services used to restore historic residences.

The studio first recommends a nomination as a local historic district for the entire residential area of the Schuylkill-Southwest neighborhood with explored and redefined boundaries (**See Appendix C.2**). To do this, strong promotion by neighbors themselves is very critical.

Options for partial designations

If nomination of the entire studio site as a Historic District on the local level is not possible for the community, then there is an option of partial designation. The following areas within the neighborhood have a great potential to become Philadelphia Historic Districts respectively (See Appendix C.2 Proposed Historic Registrations):

- · St. Albans Place (2300 block)
- Madison Square (2200-2300 block)

These blocks are historic "garden blocks", which are not widely known by the public yet. Since all properties of these blocks of Madison Square and St. Albans Place are already designated individually as Philadelphia Register of Historic Places, the benefits the property owners can get, such as legal protection and tax incentives, after designation as a district will remain the same as they have currently. However, if the area is listed



as Historic District, the protection of the gardens would be promoted and there could be some additional indirect benefits or impacts, such as:

- Promotion of historic value of the entire blocks designated as historic district;
- Motivation of property owners/ residents to maintain blocks' public gardens.

Nomination and Designation Process

This study provided the basic building blocks for the community to nominate this area to the Philadelphia Register of Historic Places. The decision to do so rests within the community and must depend on the public support of the neighbors themselves.

- 1. Anyone may nominate a building, structure, site, object or district to the Philadelphia Register. Nomination form is available from PHC.
- nomination includes basic 2. The information, such as the location, type, condition, ownership and use of the property, photographs and two essays. The first essay describes the physical appearance of the property that enables the reader to form a mental image of the nominated resource. The second demonstrates the significance of the nominated resource and its meeting one or more of the criteria for listing on the Philadelphia Register. A district nomination also contains photographs, a descriptive inventory of every property in the district, and a map.

Basic information has been provided in this report through the study by Penn Preservation Studio. The community can use this report to aid

the nomination process.

- 3. The staff will review the nomination for completeness and accuracy and will work with the author to assure the presentation of a strong, convincing statement of significance. The staff will also provide notice to owners as required by the Historic Preservation Ordinance.
- 4. The Committee on Historic Designation, a technical advisory committee of the Commission, will hold a public meeting to consider the nomination and to determine if the property meets one or more of the criteria set forth in the Historic Preservation Ordinance.
- 5. For historic districts, the Committee on Historic Designation and the staff work with local community and historic preservation organizations, undertake a preliminary assessment of the proposed district's significance, and conduct a survey to define its boundaries. The Committee will then review the nomination at a public meeting and agree upon a recommendation to the Commission.

Preliminary assessment has already been conducted by the Preservation Studio. The community can consult this report as a guide.

6. At its next monthly meeting, the Historical Commission will receive the nomination and the recommendation of the Committee and will hear public testimony on it. It will then vote whether to list the property Philadelphia the Register. on For historic districts, the Commission will hold several public meetings, including one in the evening in the neighborhood, to receive testimony. Interested persons may also present written comments to the Commission.



After this series of meetings, the Commission will act on the nomination.

For further information on Philadelphia Historic District designation, contact Philadelphia Historical Commission:

576 City Hall Philadelphia, PA 19107 Telephone: 215.686.7660 Facsimile: 215.686.7674

National Register Historic District (NRHD)

The National Register of Historic Places is the official Federal list of districts, sites, buildings, structures, and objects significant in American, state, or local prehistory and history that have been nominated by State Historic Preservation Officers, and others, and have been approved for listing by the National Park Service.

Within the Schuylkill-Southwest neighborhood, there is some overlap with the Ramcat Schuylkill National Register Historic District, which was registered in 1985 (**See Appendix C.2**). In summary, significance of Ramcat Schuylkill District is as below:

"The Schuylkill neighborhood is a distinct river-oriented community, that combined work and residence in close proximity in a way that represents the lifestyle of working class Philadelphia in the 19th century. This neighborhood however gains additional interest as an early center of Irish ethnic segregation, dating to the first half of the 19th century, and as a community which was stabilized by location while its workplace and work type constantly changed. Here, what began as a port facility, became a center for the building trades before the Civil War, and by the turn of the century

was a center of manufacturing, before turning into a transportation point for the great department stores around World War I.... Schuylkill, despite its proximity to Rittenhouse has its own internal coherence that makes it independent of rather than the dependent on Rittenhouse, and an important model of 19th century lifestyle surviving to the present."

The Studio site has some similarities and differences in significance with the Ramcat district. For example, ethnic segregation patterns are quite similar in both areas. Perhaps in the 19th century the two areas were one continuous Irish dominated area. As for orientation of buildings, most properties in the Studio site, except the industrial area, are not river-oriented and strong historical association between residents within the studio site and river were not identified clearly.

It is feasible that the unlisted part of Schuylkill-Southwest neighborhood could become another NRHD because of the significance of the neighborhood stated in Statement of Significance. Taking into consideration the differences in historical development and significance, our recommendation is to create a separate NRHD rather than extending Ramcat HD and incorporate the studio site into it.

To be listed, the property or a group of properties (district) must meet at least one of following criteria:

Criteria of designation

The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:



- **A.** That are associated with events that have made a significant contribution to the broad patterns of our history; or
- **B.** That are associated with the lives of persons significant in our past; or
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- **D.** That have yielded or may be likely to yield, information important in prehistory or history.

The Schuylkill-Southwest neighborhood meets **Criterion C**. The area embodies urban residential development in 19th century and significant as an entity rather than individually. The area also meets criterion A in that this development boom was a result of Irish immigration and African American emigration as well as the Industrial Revolution.

To be eligible for listing, properties must have historic integrity in a historic context. Historic context is information about historic trends and properties grouped under an important theme in the prehistory or history of a community, state, or the nation during a particular period of time. In Schuylkill-Southwest neighborhood, the historic context may be identified as:

Formation of urban residential area for working-class people that took place around 1850 in central Philadelphia and

housing for the new waves of massive immigration.

Historic integrity refers to the authenticity of a property's historic identity, evidenced by the survival of its physical fabric and characteristics as they existed during the property's prehistoric or historic period. Historic integrity is the composite of seven qualities; location, design, setting, materials, workmanship, feeling, and association. All seven qualities do not need to be present for eligibility as long as the overall sense of past time and place is evident.

The historic integrity of the Schuylkill-Southwest neighborhood is largely evident in the surviving original land use as well as in the historic buildings still on the same location. Changes done on most properties are consistent with the historic character of the district and do not detach from it.

Generally properties must be fifty years of age or more to be considered historic places. Most of properties within the Schuylkill-Southwest neighborhood qualify for this requirement.

Benefits

- National recognition and appreciation of historic properties and their importance,
- Consideration in planning federal and federally-assisted projects. This means that all federal undertakings are reviewed to eliminate or mitigate negative impacts on properties listed on the NRHP. This regulation is called Section 106.
- Property owners are eligible for the Federal Rehabilitation Tax Credit: a 20% tax credit for income-producing historic buildings listed on the NRHP



either individually or as contributing buildings within a historic district. Rehabilitation work must be done according to the Secretary of Interior's Standards. The amount of money spent on rehabilitation must be greater than the adjusted value of the building and must be at least \$5,000.

 Contributing properties within the designated district will be eligible for Pennsylvania Historic Preservation Tax Credit when passed.

How is a National Historic District different?

Under National Historic District, alteration, demolition and new construction of registered properties are not controlled in any way. Rights of property owners are in no way limited. PHD controls those activities on the other hand. There are no Design Guidelines established for National Registered Historic District properties.

How to apply

While SHPOs (State Historic Preservation Officers), FPOs (Federal Preservation Officeers), and TPOs (Tribal Historic Preservation Officers), nominate properties for National Register listing, private individuals and organizations (such as neighbors or community association in Schuylkill-Southwest neighborhood) can initiate the process and prepare the necessary documentation for submission to the Pennsylvania SHPO in Harrisburg (committee office).

- Obtain a Registration Form (NPS10-900). Form is available on line or from SHPO or NPS.
- Though this conservation plan prepared by Penn Preservation

Studio is useful and constitutes a base for nomination work, however, registration complete a requires more extensive historical and architectural researches. Persons researching a historic property wish to for the first time may consult National Register Bulletin: Researching a Historic Property, which provides helpful hints and sources documenting various historic properties. Yet it would save more time to retain the assistance of experienced professionals such as preservation consultants or preservation students to complete required research. For example, a registration form of the National Ramcat Historic District preservation was prepared by a consultant in Philadelphia who is also a Professor of the History Department of the University of Pennsylvania. It is recommended for the community to secure a financial source to fund a survey for the nomination process. When the nomination process is started, boundaries of this proposed district will need to be explored and defined by community members. The studio site boundaries were set to fulfill the academic requirements of the program, and do not reflect the real physical or perceived boundaries of this neighborhood. The studio did not explore areas beyond the set boundaries. Therefore we have not determined whether similar residential areas extend beyond our limits - the residential area which has as the same consistent patterns as we found in the studio site.4

Submit completed registration form and inventory to Pennsylvania Historical and Museum Commission in Harrisburg (SHPO). SHPO will review the registration form and hold a



meeting.

For further info, consult National Register Bulletin: How to complete National Register Registration Form (available on line) and contact Pennsylvania Museum and Historical Commission (SHPO) and/or National Park Service Northeast Regional Office in Philadelphia.

Neighborhood Conservation District (NCD)

Because of NCD's looser controls compared to local historic district, it might be easier for the community to build a consensus to pursue this NCD first, or the NCD can overlay a larger area than the PHD area, which protects historic core of the neighborhood.

However, the consensus by a majority of property owners must be achieved for successful nomination to NCD. A strong initiative by a community organization will be necessary.

NCD Ordinance8 has not become a part of the official ordinance at this point (See Appendix C.2 Draft Neighborhood Conservation Ordinance). The drafted ordinance has been by a councilperson and studied by Philadelphia City Planning Commission (PCPC) and Philadelphia Commission Historical (PHC). We have to bear in mind that the ordinance is still a draft and at a very early stage in the enactment. Therefore the contents of the ordinance are subject to change.

Once the ordinance is adopted, it could be an effective tool to protect residential area of Schuylkill-Southwest neighborhood should the community not gain enough support for a historic district designation. This ordinance is especially provided to

protect traditional residential area such as Schuylkill-Southwest neighborhood. The draft ordinance (included as an appendix) describes the neighborhood to be protected under this ordinance as follows:

"residential neighborhood (that) are easily recognizable by their consistency of characteristics such as height, set backs and side yards as well as their distinctive exterior façade design elements including porches and steps, masonry, stoops, cornices and trim, doors and window and other architectural styles and features which over the years created a neighborhood environment and streetscape that brought neighbors together."

(Title 14-1200 Zoning and Planning (draft), §14-1201(3))

The Schuylkill-Southwest neighborhood meets requirements of NCD as described in Statement of Significance that the most prominent value of the neighborhood lies in the consistency of urban residential patterns. As stated in the introduction and recommendation sections above, the key issue for protection of Schuylkill-Southwest neighborhood is control of entire area by regulation. This is a tool to protect aesthetics of the neighborhood from intrusive development and ensure quality of living.

Benefits

By applying for the NCD, neighbors can gain benefits to:

- Preserve and protect unique and traditional residential neighborhoods such as aesthetic fabric of building exteriors;
- · Enhance attractiveness of the neighborhood as a place to live,



work and enjoy its cultural, social and historical opportunities and foster a feeling of pride in one's neighborhood;

- Promote the proper improvement of buildings within an NCD and to maximize the economic, social and educational value of neighborhood transformation;
- Obtain technical advice from Philadelphia City Planning Commission and Philadelphia Historical Commission when residents or owners plan on alterations of historic building exterior or new construction which matches historic fabric of the neighborhood.

Requirements for residents/owners: **See Appendix C.2 Draft Ordinance**.

- To comply with design guidelines provided by PCPC when residents/ owners do alterations, demolitions, new constructions;
- To obtain Certificate of Compliance before residents/owners conduct any alterations, demolitions or new constructions.

How is Neighborhood Conservation District different?

Different from PHD, NCD is mainly designed to protect residential neighborhoods which have traditional architectural patterns as a whole but are not old or significant enough to qualify for Philadelphia Historic District. Also different from PHD, demolition and new construction in NCD is not prohibited or strictly controlled. NCD is a rather loose protection of integrity of an area.

How to apply for NCD

 To be designated as a NCD, at least 70% of the area must be of residential

- use and zoned as residential, and no more than 20% of the area shall consist of vacant lots or vacant buildings. It is recommended that residential area of Schuylkill-Southwest neighborhood, which excludes industrial area and Naval Home, should apply for NCD. Boundaries of the District need to be examined and defined as stated in previous section.
- Before applying to PCPC, approval of application by a neighborhood association located within the proposed NCD, or the signatures of at least 20% of all property owners and at least 20% of all owners of owneroccupied housing units located within the proposed NCD is necessary.

Individual designations - National Register of Historic Places and Philadelphia Register of Historic Places

If the entire neighborhood can be designated as a Philadelphia Historic District or National Historic District, additional individual designation will not be necessary. However if district designation is not achieved, then our recommendation is to nominate individual properties listed below to PRHP or NRHP. That way, we can at least ensure protection for the principal landmarks in the neighborhood.

Following properties could be potentially eligible for listing:

See Appendix C.2 Map and Matrix.

- Chester A. Arthur Combined Secondary and Primary School
- · Greater St. Matthew Church
- PECO building⁵
- John F. Kennedy Vocational Training School



Nomination process and benefits

In principle, nomination process and benefits for individual designation as NRHP and PRHP is the same as National Historic District and Philadelphia Historic District respectively described in previous sections. However, for individual designation, consensus by a majority of the neighborhood is not necessary. Only property owners' consensus is required. Therefore nomination process might take less time than district nomination.

Currently there are two NRHP within the Studio site:

See Appendix C.2 Map and Matrix.

- Grays Road Recreation Center⁶ (2501 Christian Street, Criteria A and C, built in 1927, the Grays Road Recreation Center is an important example of the activities of the Richard Smith Family Trust, which constituted Philadelphia's first and largest charitable institution established solely to provide for the recreational and educational needs of children. The Grays Road Recreation Center is the last surviving example of four Smith Family Trust playgrounds. In addition, the building is an unusual example of the work of noted Philadelphia architect John Torrey Windrim)
- William S. Peirce School (at 24th and Christian Streets, Criterion C, Architecture, built in 1928; The Peirce School represents Philadelphia's response to the needs of a rapidly growing and changing educational system and the remarkable versatility architect's basic plans to of the satisfy the requirements space neighborhood through of schools expandability)

The following sites are currently listed as PRHP individually:

See Appendix C.2 Map and Matrix.

- 2201-2219 Bainbridge Street
- · 2020 Bainbridge Street
- all individual properties on 2300 block of St. Albans Place⁷
- all individual properties on 2200 and 2300 blocks of Madison Square⁸
- Church of Holy Apostles⁹

Matrix

The appended spreadsheet is a matrix to provide the community with a guide to the nomination process (See Appendix C.2 Matrix). The studio class has identified eight sites with various designations and four properties that potential for nomination. For have each property it specifies location, date of construction, area of significance, current designation status, suggested nomination, the criteria it meets for the register, and notes to spur research and make an argument for significance. The currently designated sites have been included as an example. The matrix is offered to the community as a stepping stone for further nominations. It is one block in the application process to use in conjunction with the other building blocks of the Recommendations of Nominations for Historic Registrations, the appendixed Nomination Form of the Ramcat Schuylkill National Historic District.

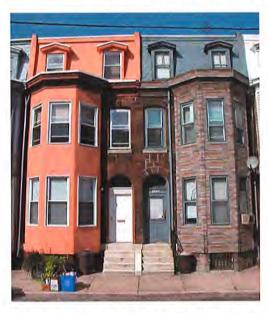


The Design Guidelines were developed for the Schuylkill-Southwest neighborhood to accompany the nomination as an historic or conservation district and to accompany the Maintenance Manual as an aid in preserving the physical landscape. The main purpose of the guidelines is to provide guidance to property owners,



Figures 1-3 this page: Various images of the studio site

contractors, design professionals and city departments about design based on community policies. It must be understood that the design guidelines in themselves cannot be legislated as



an absolute definition or enforcement of good design but a means to communicate matters of scale, configuration, massing, open space, context, and to some degree,

architectural composition and detail. All zoning regulations and ordinances, building codes, and local historic preservation laws supersede all suggested guidelines when the contradiction occurs. By defining appropriate or inappropriate responses to specific design issues, the quidelines aim to encourage preservation and careful treatment of historic resources while recognizing the need to accommodate changes that permit continued use of the properties. They also aim to encourage high quality development that is compatible with the



historic character of the neighborhood.

The fundamental principle of these design guidelines is to improve and enhance the character of the historic district, while promoting the knowledge of historic structures and the preservation process. The standards were drafted with the following design goals in mind:

- · To protect integrity of district;
- To complement and minimize negative impacts on existing properties from inappropriate development or alterations;
- To promote and preserve pedestrianfriendly streetscape design;
- To promote and preserve public spaces as interactive social spaces, and
- To promote and preserve sense and time of place conveyed by the architecture as a collection.



The guidelines apply to all zones of the entire studio area and standards governing different design aspects will be provided to achieve the above outlined goals:

- All streetscapes and public spaces, including vacant lots;
- Residential properties, including both new and existing properties;
- Commercial properties, mostly distributed along South Street;
- Industrial properties, mostly along Schuylkill Avenue, and
- · Waterfront.

Streetscape Guidelines

The streetscape is an important aspect of this neighborhood. It allows for the egress of pedestrian and vehicular traffic while assuming the role of public open space for community interaction. The streetscape is defined by the road and its components (paving, traffic lines, parking spaces, and utility openings), the curb and gutters, the sidewalk (pavement, lighting, utilities, street furniture, and greenery). Each of these components works to facilitate and frame the built environment by providing safe travel and pleasing aesthetics. Although much of the public realm is maintained by city services it is the responsibility of individuals, community organizations, and planning officials to realize the significance of these spaces and their relationship to the interior private spaces. These guidelines have been designed with the understanding that there are active groups and individuals within the community. They should be used as reference in decision making processes to:

- Describe the types of streetscapes;
- Address the supporting elements of each typology;
- Identify the values associated with

- those streetscapes and supporting elements, and
- Recommend improvements and maintenance procedures for streets and their constituents.





Figure 4: (above) Present view of Bainbridge Street from 25th Street. **Figure 5:** (below) The same view with different paving andstreet lamps.

The following sections have been drawn up for the following streetscape elements:

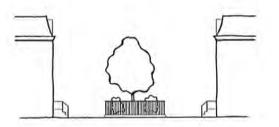
- Street Paving
- Sidewalk Paving
- Lighting
- · Street Furniture
- Landscaping and Urban Greenery



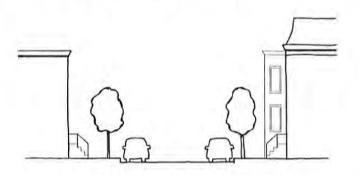
After conducting field surveys, the studio group identified five different classes of major streetscapes found in this area and these guidelines are applicable to all of them:

Type 1: Entirely pedestrian (St. Albans Street and Madison Square)

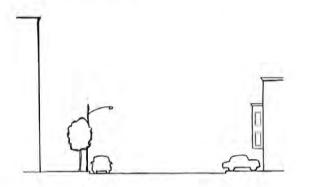
Type 2: Primarily pedestrian/Light vehicular (Pemberton and Kater Streets)



Type 3: Major thoroughfares: Light pedestrian/High vehicular (South, Christian, and 22nd Streets)



Type 4: Industrial avenue s (Schuylkill Avenue)



Type 5: Alleyways

In particular, we have identified the alleyways as an area needing the most improvement. Because of this, we have developed specific guidelines tailored to the improvement of these areas.

Alleyways

Alleys are often associated with decaying inner-city neighborhoods; however, the alley is a staple feature of quality traditional planning and an essential part of historical urban design. Alleyways are also often thought of as dangerous areas, which, in fact, is true of some alleys in this neighborhood. However, if used to their full potential, alleys can be an asset to a neighborhood as they encourage social contact among neighbors and promote community unity and interaction. It can also offer public, utilitarian, and recreational space for residents off the street.

Removing household trash and other messy chores from the front sidewalk or street would promote a more positive pedestrian-friendly street environment. The alleys also provide a good place for



Figure 6: Alley at Fitzwater and 22nd Street.



utilities, such as electrical boxes, which otherwise tend to clutter the streets and front yards.

The alleys in the studio site range in width from approximately 8 to 12 feet, making these wide enough to accommodate a small garbage truck and possibly function as service roads. But alleys also





Figures 7-8: A typical view of an alley at the studio site and tits potential after renovations.

simultaneously accommodate the children bicycling home after school, or the couples venturing out for an early evening walk before dinner. With appropriate landscaping, lighting, and tree plantings, an inviting back-yard atmosphere devoid of tall fences can be created, while offering residents increased privacy and social

respect for their neighbors. This could also be extended to the alley. Though most municipalities will not fund alley beautification projects, often residents in a close-knit neighborhood will spend the money and effort it takes to make their street an aesthetically pleasing place to live. The alley is a lost tool of excellent urban design that should be preserved and utilized for the enjoyment of all residents in traditional neighborhoods.

Vacant Lots

The 2003 Schuylkill-Southwest Studio site contains very few open spaces for community activities. As a result, the street spaces themselves play an important role in providing a community forum for interaction. However, there are a variety of options that should be explored to utilize existing open spaces and make them available to the surrounding community. In order to reclaim vacant lots and neglected properties, a number of tools have been gathered. These tools are meant to guide individuals, organizations, community and planning officials towards various public policy and philanthropic organizations that can assist them in reaching these goals. The open space guidelines have been created as a result of community inquiry and an understanding of the enabling environment. In addition, a few vacant sites have been chosen for their open space potential. The deign drafts presented are meant to illustrate how such sites, if properly cared for, could transform the chosen site or lot and strengthen the surrounding neighborhood.

Community green spaces have played an important role in urban landscapes and Philadelphia, specifically. William Penn addressed the need for green space in his original design of Philadelphia by including



five public squares. This neighborhood unfortunately arose during a period of rapid growth and was constructed without a master plan. Developers took advantage of the available land parcels and created a dense urban landscape,



Figure 9: 2400 block Christian

devoid of centralized community spaces. Developers such as, Charles M. Leslie, however, saw the need for green space and included it within their design. Although past and present residents of this neighborhood have depended on the streetscape as a forum for interaction they could one day benefit from and enjoy the undeveloped potential that surrounds them.

In recent years the South of South Neighborhood Association (SOSNA) and dedicated residents, have cleaned up a number of vacant lots and turned them into community gardens. Many of these gardens are still active, while the majority are neglected and over grown. Vacant lots can be both an asset and a liability. The community would like to see these spaces open to both residents and passersby; however, the reality is that these vacant lots have been abused by illegal activity. In an act to prevent such activities from occurring, access to these urban green spaces and community gardens has been cut off by chain link fences. The sight of a fenced green lot is "soothing" to some residents and acts as a visual statement that the community is committed towards reclaiming their neighborhood. This neighborhood is still in the process of reclaiming their streets and should set goals towards the future of these lots. These spaces should not be fenced off to the community, but rather made available for a variety of uses.

If residents in the neighborhood should want to acquire a vacant property for use as a community space, they can seek assistance through a variety of public and private agencies. Below is a list of



Figure 10: Fitzwater 2000 Community Garden

these organizations, a brief description of their function, and current contact information.

Vacant Property Survey

Residents of the neighborhood can find out more information about vacant lots in their area by way of the Internet, through the Philadelphia Vacant Property Survey. The office of Housing and Community Development, in conjunction with Wharton, has compiled this list of vacant lots and vacant residential structures to assist in academic research, public planning and community redevelopment.



This database contains a digital photograph, condition survey, tax and purchase records and demolition status for every vacant property in the City of Philadelphia.

http://cml.upenn.edu/nbase/

Department of Public Property

The City of Philadelphia is in the business of acquiring, managing, and making available vacant properties for rehabilitation and urban gardens. The Redevelopment Authority administers two types of public property: property owned by the Redevelopment Authority itself and property of the City of Philadelphia. They are available for purchase at fair market value by individuals, businesses, and organizations through the Vacant Property Review Committee.

http://www.phila.gov/property/

Property is also available at auction on a monthly basis through the Philadelphia County Sheriffs office. These are properties that have been seized as a result of delinquent taxes and delinquent mortgages or liens.

Office of the Sheriff 100 South Broad Street, 5th floor Philadelphia, PA 19110 Real Estate Phone: 215-686-3535

http://www.phillysheriff.com/index.html

Community Gardens

Many urban communities have transformed vacant lots into community horticultural gardens for use and visual enjoyment. There are a few organizations within the city that assist neighborhoods in obtaining properties, providing initial financial support, and educating communities on the benefits of gardening.

The Neighborhood Gardens Association/A Philadelphia Land Trust

This Neighborhood Garden Association is part of a nationwide coalition of land trust organizations which provide the tools necessary for starting and maintaining community gardens. They publish a booklet titled "How to Obtain Permission to Garden on a Vacant Lot" and can aid in negotiating a lease with a property owner and purchasing community garden insurance.

Neighborhood Gardens Association A Philadelphia Land Trust 100 N. 20th Street, Suite 309 Philadelphia, PA 19103 Phone: 215-988-8797

E-mail:nga-staff@ngalandtrust.org http://www.ngalandtrust.org/

Pennsylvania Horticultural Society
The Pennsylvania Horticultural Society
has partnered with the William Penn
Foundation, Neighborhood Transformation
Initiative (NTI), and Philadelphia Green to
promote the Green City Strategy. Funding
can be acquired through this organization
for fencing, soil and gardening tools.

The Pennsylvania Horticultural Society 100 N. 20th Street - 5th Floor Philadelphia, PA 19103 Telephone: 215-988-8800 http://www.pennsylvaniahorticulturalsociety.org

Penn State Urban Gardening Program
Part of the College of Agricultural
Sciences, this Penn State outreach
program was established in 1977 to
promote community evolvement and
growth. PSUGP is a valuable resource for
any neighborhood seeking to transform a
vacant lot into a community garden.



Philadelphia County Cooperative Extension 4601 Market Street, 2nd Floor Philadelphia, PA 19139-4616 Garden Phone 215-471-2224. Monday-Friday 9:00 AM - 4:00 PM http://philadelphia.extension.psu.edu/

Guidelines

The studio site has a number of vacant lots and open space potential. However, a thorough examination of these lots revealed that only a few are suitable as possible community spaces (see Appendix C.3). The other vacant lots in the neighborhood should considered for residential and commercial redevelopment and should follow both guidelines for new construction and community services suggestions. Green spaces play an important role in strengthening community relations, especially within a diverse neighborhood such as this. Proper design, execution, and maintenance of community spaces are pertinent to make them successful.

Community open spaces located within vacant lots are essentially an extension of the streetscape. Therefore much of the information provided in the streetscape guidelines regarding paving material, lighting, etc. should be reviewed. The most important thing to keep in mind is that although these vacant lots are limited in size they may still be multifunctional. In addition to community gardens these parcels of land can be used for recreation (i.e. basketball and tennis courts), as playgrounds, dog parks, or as a pedestrian oasis.

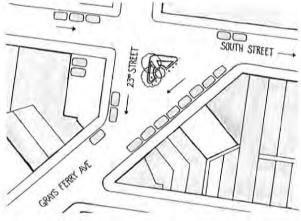
These spaces can and should be used to showcase artists and promote local activities. The City of Philadelphia is an active supporter of public arts programs, which include murals and sculptures. This neighborhood does not contain public art and could benefit greatly from participating in such programs.

Design Possibilities

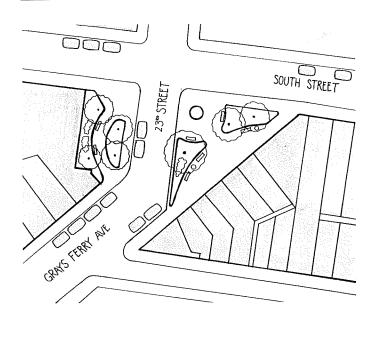
 Odunde Square-South Street at Gray's Ferry Avenue

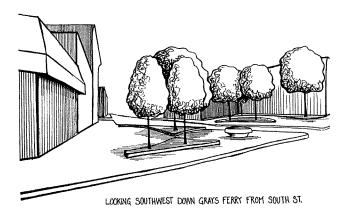
As a pedestrian park this site has the potential of being a gateway into both the studio site and the South Street commercial corridor. Currently all traffic at this intersection must travel east along South Street or southwest along Grays Ferry Avenue. The small portion of Grays Ferry Avenue at the intersection of South Street is used primarily for parking and could be better utilized. The site contains an existing fountain, which could be reused to create a centralized feature for the space. Special consideration should be paid to the types of foliage chosen for the site and tree height should correspond to surrounding building height.











Figures 11-14: Photograph representing current layout of intersection at Greys Ferry Avenue and South Street along with three designs for improvement for pedestrian use.

2. Christian Street-Grays Ferry Avenue

This intersection has two vacant triangular lots that also have the potential to be cultivated as community spaces. As a pedestrian park or multifunctional space, these lots could act as a gateway into the neighborhood, similar to the previous proposal.

This neighborhood has already taken the initial steps toward reclaiming their vacant lots from illegal activities and should

begin planning for the future. Vacant lots are a reality of the urban landscape. However, the necessary tools are available from public and private organizations to harness their potential. Although such spaces provide an opportunity for community enjoyment and interaction, they may also spark public interest and promote appreciation and preservation of the built environment.

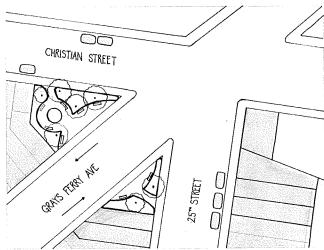


Figure 15: Christian Street and Greys Ferry Avenue.

Guidelines for Additions & Alterations of Existing Properties

These guidelines are intended to assist homeowners and residents in maintaining and enhancing the historic environment of Schuylkill-Southwest site. They apply to all exterior improvements and renovation of existing residential and commercial buildings which belong to the predominant historic building typologies outlined in the second chapter.

There are a total of nine types of buildings which inhabit the residential area of the site. Most buildings are 19th vernacular, two- or three-story brick rowhouses. Althoughthis pattern continued throughout the development of the district, these residences are distinguished by subtle differences in architectural elements. These building typologies were developed



by a previous group who analyzed the physical fabric of the neighborhood and the typologies were used as a framework for the guidelines. The most predominant types are Type 1, Type 6 and Type 2, which can be seen in Appendix C.3.







Figure 16: St. Albans Place Figure 17: 22nd Street

Figure 18: 2200 block Pemberton Street

In order to choose appropriate treatments to preserve the significant building pattern of the Schuylkill-Southwest site, we also identified nine character-defining features and suggested the guidelines for each. These character-defining features are:

- 1. Story
- 2. Bay
- 3. Façade Material
- 4. Roof Form
- 5. Cornice
- 6. Windows
- 7. Doors
- Foundation (includes basement widow, step and stoops)
- 9. Alignment and Setback

Homeowners and residents can check the location of their property in the typology map, and find out the property's "type". Then use the Typology Matrix to get further information about the character-defining features. After the identification of character-defining features and determining which are the original or renovated parts in their property, the guidelines can be used by residents when improving their buildings and will ensure the preservation of these buildings into the next generation.

Design Guidelines for New Construction in Residential Areas

quidelines intended These are design encourage creativity in new without disrupting the strong rhythm of the historic fabric. This is important in order to provide continuity with those elements which have been identified as valuable and unique to this neighborhood. In order to accomplish this, the guidelines are proposed to encourage the continuity architectural form rather of overall than detailing. Compatibility of new construction is especially important in this



neighborhood given the homogeneity of the building stock. Multiple building types exist in the neighborhood; however, they are all unified by a similar relationship to one another and to the street. This dense urban pattern creates a unique physical and social environment.

Single Lot Infill

When designing a single structure to be inserted into a complete block, it is recommended to refer to the adjacent buildings and their typology to see what physical elements are seen as valuable (see typologies). The scale and proportion of the new buildings should maintain that of the adjacent buildings and elements should be respected but not copied. These guidelines are not intended to dictate the appearance of individual elements but rather to suggest the importance of including these elements in any new construction:

- 1. Height
- 2. Width
- 3. Roof Form
- 4. Orientation to the Street
- 5. Front Stoops
- 6. Setback
- 7. Fenestration
- 8. Exterior Material



Figure 19: Single vacant lots disrupt the streetscape as seen here.



Figure 20: An example of a single lot infill.

Multiple Lot Developments

There are relatively few single vacant lots within the neighborhood and these sites should be chosen first for inserting a new building. However, there are a few areas where multiple lots are currently vacant.



Figure 21: Multiple vacant lot infill

For areas such as these, it is encouraged that the development of these lots be consistent with the development patterns of the neighborhood. Houses should be built that are sympathetic with the architectural values already present in the





Figure 21: Multiple vacant lot infill

neighborhood. However, a new building typology should be created that reflects contemporary design and incorporates the values of the neighborhood. It would be preferable that the buildings reflect the width of the lot size and are two or three stories tall and include a similar relationship with the street, the pedestrians, and adjacent buildings. Garages on the front of buildings are not allowed.

Guidelines for Commercial Properties

The following design guidelines shall apply to all properties that are clearly constructed and/or used for commercial purposes. This will include existing properties and new construction with ground floor commercial spaces, and



existing properties originally designed and constructed for commercial purposes but whose later use has been modified.



Figures 22-23: Examples of storefronts located in the studio site on South Street.

The guidelines aim to discuss specific design issues relating to characterarchitectural features defining commercial structures such as storefront, signage, etc. All other design issues not otherwise mentioned shall follow the general guidelines for existing properties construction accordingly. and new The main objective is to preserve the character-defining features that clearly distinguish the commercial properties from other building types, while allowing potential alterations or developments that supports contemporary economic use of the building.

Sections:

- 1. Ground floor facade
- display windows and bulkheads
- 3. Entries and doors
- 4. Signs and graphic designs
- 5. Awnings

In the first two sections, the importance of the preservation of the historic storefront is emphasized, but the guidelines also provide some flexibility for property owners, especially towards storefronts that have been converted to non-retail use. The guidelines for signs and graphic



designs do not specify or dictate the design nor does it promote conforming to traditional design. Instead, it tries to encourage designs that are compatible with the overall façade. Especially in the case of historic storefronts, the signs and awnings should not disturb the character defining features, and the installation method should be as non-destructive to the building fabric as possible.





Figures 24-25: Examples of current signage and awnings on the commercial facades in the studio area.

Guidelines for Industrial Properties

The industrial areas in the neighborhood fall within the G2 and L4 industrial districts mapped in Appendix C.3. Together these areas make up approximately 32.7 acres and 22% of the entire study area. These design guidelines are meant to ensure high quality development and design, pleasantly aesthetic projects, and proper

preservation and rehabilitation. The intent is to provide an acceptable framework for the preservation and development of the industrial sector of the study area. The guidelines apply to all alterations, additions, and new constructions that take place in the industrial zones.



Figure 26: Proposed design at Schuylkill Avenue.

General guidelines for all aspects relating to the industrial site including uses, site planning, parking and circulation, loading facilities, and overall architecture. This section establishes a range of recommendations that can be applied to preserve the character of the buildings, landscape, and overall built environment through alterations and additions. The guidelines for new construction for industrial sites do not seek to impose a particular architectural style, but to promote quality development that will be a benefit to the neighborhood. See Appendix C.3 for other maps.

Waterfront Redevelopment Plan & Guidelines

Plans for a waterfront park have been developed in order to forge a link between the residential and industrial areas in the studio site as well as to reestablish the historic connection with the river. This need was addressed for the community based upon an observed lack of public space, green space or recreation areas within the community and letters from city residents to the city council. The



overall design of the waterfront park is to turn prime underutilized waterfront areas into green space for public recreation. The following Waterfront Park redevelopment plan creates a vital green space for public access and recreation to revitalize the Schuylkill-Southwest

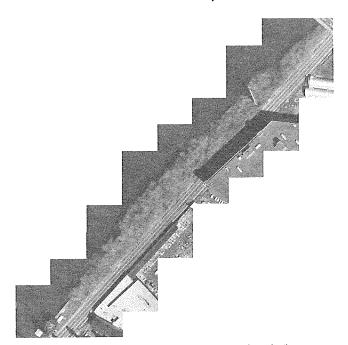
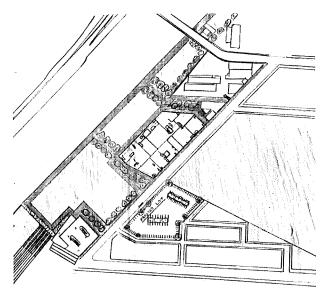


Figure 27: Photo montage of the present waterfront in the Schuylkill-Southwest area.

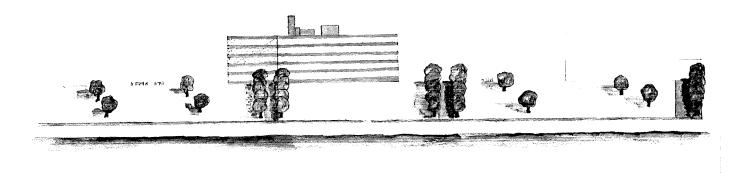
waterfront area. Guidelines are stated below to outline the recommended course of action for implementing the waterfront redevelopment plan. The overall design of the waterfront park is to turn prime underutilized waterfront areas into green space for public recreation. Two concepts were developed as possibilities for this area.



Figures 28-29: Proposals for a waterfront access and a park; plan above and section below.

Option one: the low intensity investment option redevelops the underutilized waterfront area along the Schuylkill River as a public recreation park accessed by pedestrian bridges over the railroad tracks. The new park would have a new bulkhead along the river with a network of running/biking trails, benches and picnic sites. The new park would connect to the Fairmont Park waterfront.

Option two: the high investment option would also redevelop the waterfront as outlined above with a park, bike trails, picnic and recreation areas. This option additionally reclaims underutilized waterfront urban and industrial space into green space for the park and builds a tunnel system over the railroad, creating a raised terrace for recreation.





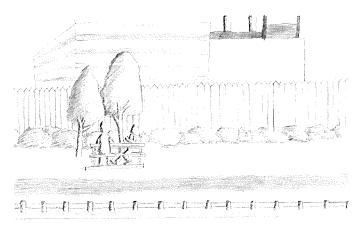


Figure 30: Rendering of potential park space at the waterfront with fencing to obscure industrial buildings beyond.

Guidelines

Access Guidelines

Pedestrian access to the waterfront should occur at least once every city block. Each access point should be ADA compliant.

Safety Guidelines

Lighting should be placed such that all pedestrian areas of the waterfront are well lit. Emergency phones or public pay phones should be placed along the park at least one for every two blocks. Fencing and vegetation should provide a barrier between pedestrians and the rail tracks, and between pedestrians and the river.

Landscaping Guidelines

The waterfront park should following the design of the adjacent Fairmont Park waterfront. Trees should be thinned in areas to allow for recreation and water views and maintained as a public park. Walkways should be parallel to the river and railroad tracks, with picnic areas every block. Gardens or tree parks could be planted throughout Waterfront Park to further beautify the area.

Public Restroom Guidelines

Restrooms should be placed every block and be housed in a building of

architectural style in keeping with other historic structures in the Schuylkill waterfront area.

Architecture Guidelines for Waterfront Park

New construction within the Waterfront Park should be presented to an architectural review board for the district and be in keeping with the historic architecture of the area.

Furniture Guidelines

Benches, other seating, trash cans, tables, or any other outdoor furniture installed in the park should be of consistent style to the adjacent Fairmont Park waterfront.

Signage Guidelines

Signage should be consistent with adjacent Fairmont Park waterfront signage.



f The Maintenance and Resource Manual, included in its entirety as an Appendix, builds upon the desire of residents to retain the unique character of their community. The goal is to highlight the value of the cultural landscape as delineated in the statement of significance and, in doing so, encourage the preservation of the historic built environment by the members of the community. The manual provides the residents with the tools necessary to maintain the historic buildings in their community and empower residents to utilize the resources available to them. The resource section of the manual was deemed vital as well to communicate the options for financial help in a predominantly low-income area and basic preservation information for community members unfamiliar with the field.

The Manual

Community Heritage:

A brief history of the physical and social evolution of the study area ranging from early settlement patterns to recent community efforts.

Maintenance Manual:

- Basic descriptions of both historic and modern materials found in the study area including brick, stone, wood, and vinyl and aluminum siding and explanations of the ways in which these materials deteriorate.
- Descriptions of basic building components including walls, roofs, and windows, features typical of the neighborhood's historic structures, and common deterioration mechanisms.
- Mitigation and repair techniques for both building materials and

components such as the formation of rust on decorative ironwork and techniques for its removal.

Resource Manual:

- Information on how to choose a contractor.
- Economic resources to help homeowners with the high cost of maintenance and home improvement. Descriptions of programs at the federal, state, and local level are provided along with contact information.
- Descriptions and contact information of community organizations, such as the South of South Neighborhood Association and the South Street West Business Association, that support local business, cultural, and housing interests.
- The preservation resources section covers local, state, and national preservation education and advocacy organizations. This section also includes a list of helpful websites and conservation-related books.

Dissemination

This guide will be distributed to local community groups in the form of compact discs. From this, community leaders and block captains can make either digital or hard copies for the neighborhood to use. A version of the guide will also be available on-line as a link from the Historic Preservation department's website.

See Appendix C.4 for a complete copy of the maintenance and resource manual: " A Guide to Preservation."



Economic

- 1 http://www.ci.chi.il.us/ PlanAndDevelop/Programs/TIF/ WhatIsTIF.html.
- 2 http://www.pidc-pa.org.
- 3 Ibid.
- 4 Ibid.
- 5 Ibid.
- 6 Ibid.
- 7 For further information on the Progress Plaza TIF District, please contact Peter S. Longstreth, President, Philadelphia Industrial Development Corporation, 2600 Centre Square West, 1500 Market Street, Philadelphia, PA 19102-2126, phone (215) 496-8181.
- 8 Council approves TIF District for Progress Plaza Redevelopment in North Philadelphia, http://www.pidc-pa.org/newsDetail.asp?pid=60.
- 9 http://www.pidc-pa.org/
- 10 New Funding Brings New Possibilities to Plan for a New Pennsylvania, http://www.inventpa.com/default.aspx?id240.
- 11 Ibid.
- 12 Evanoff, Douglas D. and Lewis M. Segal. *CRA and fair lending regulations:* Resulting trends in mortgage lending. In Economic Perspectives Published by Federal Reserve Bank of Chicago. P. 19.
- 13 Moe, Richard. Carter Wilkie. Changing Places, Rebuilding Community in the Age of Sprawl. Henry Holt and Company, New York: 1997. p. 131, 139.
- 14 United States Treasury http://www.treas.gov/cdfi/certification/index.html

- 15 National Community Capital Association http://www.communitycapital.org
- 16 Minsky, Hyman P., Dimitri B. Papadimitriou, J. Phillips, L. Randall Wray. *Community Development Banks,* Working Paper No. 83, The Jerome Levy Economics Institute, December 1992.
- 17 Ibid
- 18 Longhofer, Stanley D. Housing-Finance Intervention and Private Incentives: Helping Minorities and the Poor, Journal of Money, Credit, and Banking, part 2. August 1994.
- 19 Mason, Randall. Economics and Heritage Conservation: Concepts, Values, and Agendas for Research, in: Economics and Heritage Conservation, A Meeting Organized by the Getty Conservation Institute, Conference organizers: Marta de la Torre, Randy Mason, December 1998, Getty Center. Getty Conservation Institute, Los Angeles: 1999. p. 9.
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- 21 Ibid.
- 22 http://www.policylink.org/ EquitableDevelopment/

Nominations

- 1 Rypkema. 1994. Also see Chapter I: Introduction
- See Chapter IV: Conservation PlanDesign Guidelines



- 3 See Chapter II: Significance Historical
- 4 For method to explore and define boundaries, refer to Chapter I: Overall Studio Methodology and Chapter II: Significance Physical
- 5 See Chapter II: Significance Historical
- 6 See Appendix C.2 Registration Form of Gray's Road Recreation Center
- 7 See Chapter II: Significance Historical
- 8 See Chapter II: Significance Historical
- 9 See Chapter II: Significance Historical



From the information that has been presented in this conservation report, a case has been made that this neighborhood is worth preserving for its working-class heritage and vernacular design. Specifically, this area is important for the way it emphasizes human scale and fosters social interaction. It is important for its industrial and working-class heritage and the intact original urban layout and the form and context of its buildings. The Schuylkill-Southwest neighborhood is also significant as a record of speculative development in late nineteenth century Philadelphia.

The recommendations for the preservation of this neighborhood take an urbanistic rather than curatorial stance. While we recognize the need to protect original historical fabric, it is also important to preserve the social fabric of the area.

Historic preservation should be to the benefit of all, regardless of economic class. An empowered community can help prevent this neighborhood from becoming the next Rittenhouse Square or Society Hill.

With the economic, design, maintenance, and organization tools that have been provided in addition to sources for further information, the community can be empowered to control their future and mitigate negative changes to the social and physical makeup of the area.

Historic preservation offers the best way to retain the desirable aspects of this area and to create an environment that is sustainable, responds proactively to change, and has the best interest of its current and future residents in mind. Hopefully we have given the community a sense of the significance of the study area and the tools with which to manage its change.



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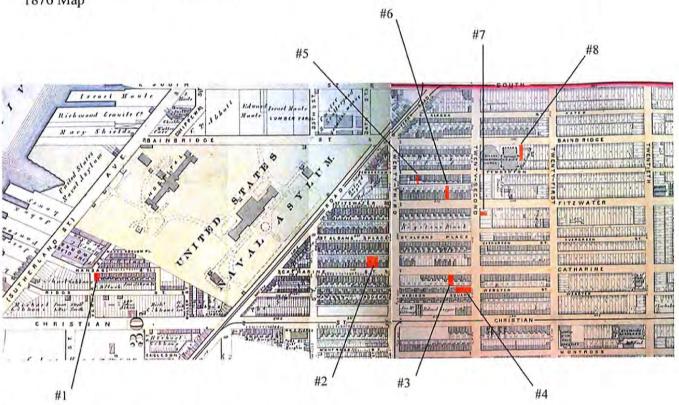
http://www.wichitagov.org/cityoffices/planning/preservation



Appendices

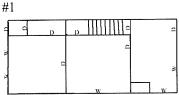


Schuylkill-Southwest Neighborhood 1876 Map



Corresponding key is on the following pages.





Address: 2602 Catherine Street

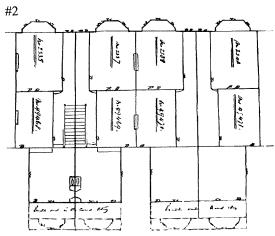
Owner/Developer: James Tapie

Date: 1873

Description: two-story brick house, flat pitch tin roof, hemlock joists, yellow pine flooring, plastered, gas pipes, reseal windows with wood sills, panel shutters to first floor and Venetian shutters to second story, double sash

First story: three rooms, stairs to cellar and second floor, three inch mouldings

Second story: four rooms, back kitchen in two rooms



Address: 2335-2341 Catharine Street

Owner/Developer: Thomas S. Smith

Date:

Description: two-story brick house, two-story brick and frame kitchen, single pitch tin roof, hemlock joists, sap flooring, plastered, gas pipes, reseal windows with stone sills, outside panel shutters to first story, inside Venetian shutters to second story, double sash

First story: two rooms, folding panel doors, bay window in front room, slate marble mantel, stucco cornice and central ceiling, ten foot high ceilings, stairs to cellar and second floor

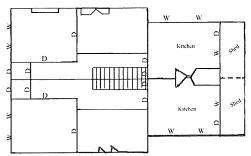
Second story: two rooms, closet in each room, bay window in sitting room

Attic: two rooms, slate roof

Kitchen: first story with sink, drawers, kitchen range, eight foot high ceilings, second story with bathroom, bathtub lined with zinc, hot and cold water



#3



Address: 2236-2238 Catharine Street

Owner/Developer: Patrick McCabe

Date: 1887

Description: two-story brick house with two-story brick kitchen, single pitch gravel roof, marble washboard, hemlock joists, yellow pine flooring, reseal windows with marble sills, panel shutters to first floor and Venetian shutters to second floor, double sash, plastered, gas pipes

First story: two rooms, white marble mantel and brackets, stuck cornice and center in ceiling, ten foot high ceilings, large walnut mewel post on stairs, walnut handrail, stairs to second floor and cellar Second story: two rooms, wood mantel and brackets, eight foot high ceilings

#4



Address: 2214-2231 Madiston Square

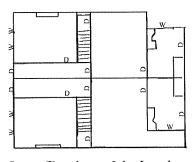
Owner/Developer: Charles M.S. Leslie

Date: 1871

Description: two-story brick house, tin cornice, plain dentils, sap pine floors, gas pipes, three rooms, panel shutters, cooking range, sink, hot and cold water, stairs to second floor and cellar

Second story: three rooms, inside blinds-not boxed, lined copper bath, plain water closet,

#5



Address: 2224 Pemberton Street

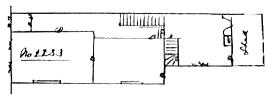
Owner/Developer: John Loughery

Date: 1874

Description: two-story brick house, two-story back kitchen, plastered, two rooms each floor, wooden frames, marble sills to first floor, wooden sills to second floor, single pitch gravel roof, wooden cornice, tin conductor in kitchen, gas oven



#6



Address: 2233 Fitzwater Street

Owner/Developer: George S. Pepper

Date: 1882

Description: three-story brick house with three-story brick back building, single pitch tin roof, marble watertable, ashlar steps, hemlock joists, yellow pine flooring, reseal windows with marble sills and inside shutters, panel shutters to first story and Venetian shutters above, double sash, plastered, gas pipes, portable heater in cellar

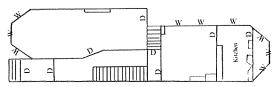
First story: two rooms, stained inside Venetian shutters, slate marble mantel, marble mantel in back room, stucco cornice and center ceiling, ten foot high ceilings, walnut stair rail and mewel post

Second story: two rooms, bathroom between rooms, stained inside Venetian shutters, closets, bathtub lined with zinc, hot and cold water, water closet, eight foot high ceilings

Third story: two rooms, closet between rooms, two pedimented dormer windows

Back building: kitchen on first floor, kitchen range, stairs to second story and cellar, eight foot high ceilings, shed out back with tin roof, second story has stucco details, third story has closet, eight foot high ceilings, tin conductor

#7



Address: 745 22nd Street

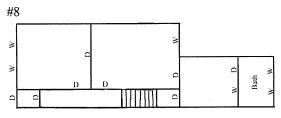
Owner/Developer: Milton Weston

Date: 1878

Description: two-story brick house with mansard roof and two-story brick back building with mansard roof, hemlock joists, yellow pine flooring, cased windows with outside panel shutters to first floor and Venetian shutters to second floor, plastered, pas pipes, portable heater in cellar, green stone dressed and painted, marble steps and platform, cornice and tin roof First story: inside Venetian shutters in bay segment, slate marble mantel, stucco cornice and center on ceiling, ten foot high ceilings.

Second story: inside Venetian shutters, four inch mouldings, stucco cornice in ceiling

Attic: wood cornice and dentils, tin gutters



Address: 2104 Bainbridge Street

Owner/Developer: Elizabeth Cowen

Date: 1877

Description: three-story brick house with two story brick and frame kitchen and frame bath house, single pitch tin roof, hemlock joists, sap flooring, plastered, gas pipes, marble water table, ashlar steps, reseal windows with marble sills to first story, wood heads and sills above, outside panel shutters to first floor and Venetian shutters above, double sash, two-room entry and stairway, wood mantel shelf and brackets, side closet, stucco cornice and center in ceiling in back room

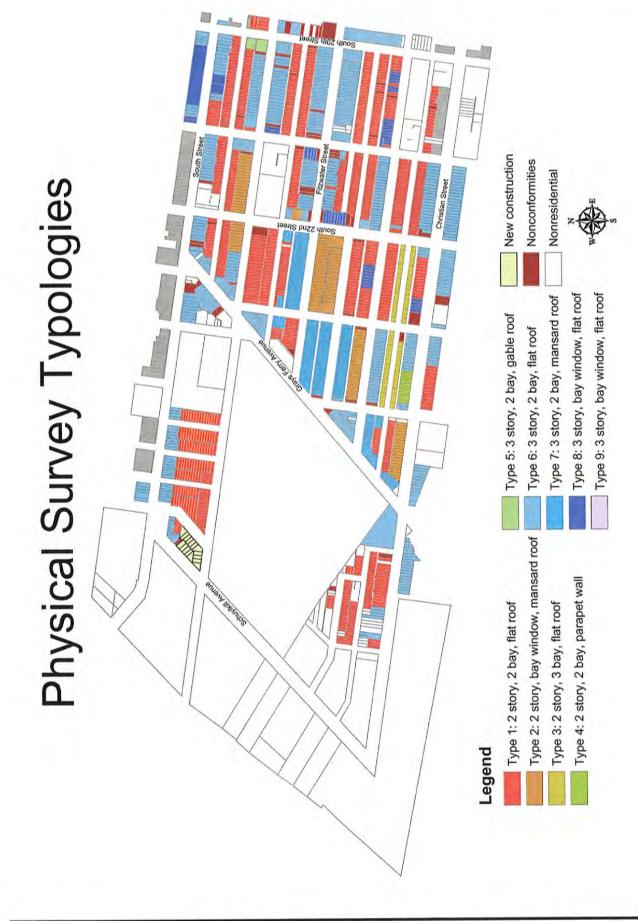
Kitchen: first story is brick, eight foot high ceilings, second story is frame and extends deeper than first, bath house, tin hanging gutter and conductor



SURVEY FORM

Date & time:		Surveyor's initials:			
Block #:		Group #:			
BUILDING GROUPS					
Address (number range & street name):					
# of individual units:	# of stories:	# of bays: Setback in feet:			
Building use: ☐ Reside	ential 🗖 Commercial 🕻	☐ Public Occupancy: ☐ Vacant ☐ Occupied			
Stoop: Yes No	Bay windows:	l Yes □ No			
Roof form: Gable Flat Mansard Hipped Complex					
Dominant building material: ☐ Brick	☐ Brownstone ☐ Schi	st 🗆 Serpentine 🗖 Wood 🗖 Concrete 🗖 Stucco			
LANDSCAPE Sidewalk material: □ Concrete □ Brick □ Slate □ Dirt or gravel Width in feet:					
Pavement material:	Asphalt	☐ Brick ☐ Dirt or gravel # travel lanes:			
Public trees: Yes	☐ No Street lighting: □	☐ Yes ☐ No Parking: ☐ On street ☐ Off street			
ALTERATIONS ☐ Paint applied where there was none before ☐ Stucco ☐ Aluminum or vinyl siding					
☐ Permastone ☐ Asp	ohalt wall material 🏻 🗖 F	Fills in building envelope Awnings Shutters			
☐ Cornice modifications ☐ Building additions Number of units that are altered:					
Other:					
NONCONFORMING Specific address/location	STRUCTURES & LAND Brief description	MARKS Significance			
Specific address/location	Brief description	Significance			









Dominant Building Materials

(all other values)

BldgMaterial

Legend

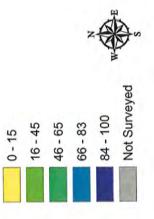




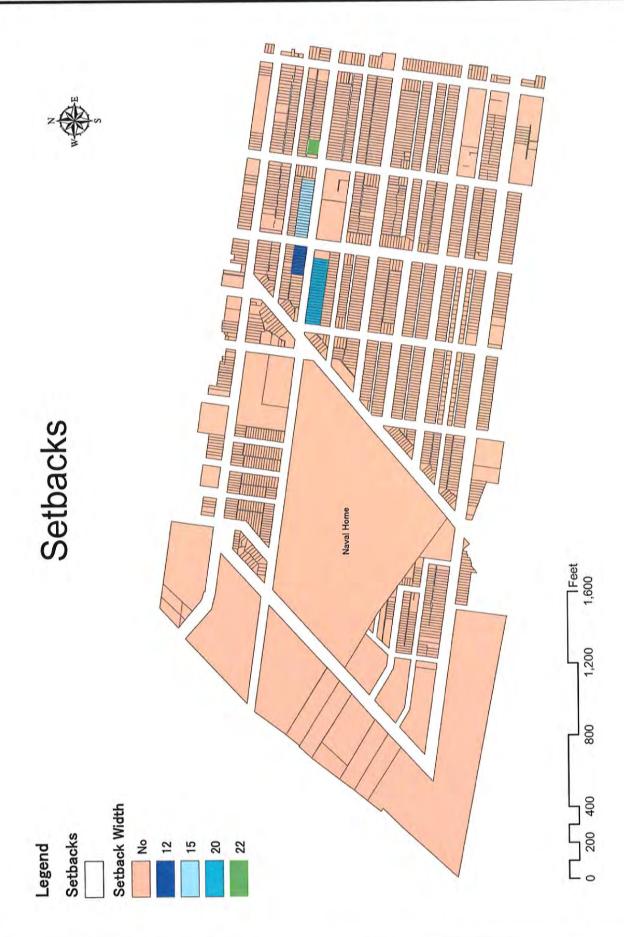
Percentage of Buildings Altered



Percentage of Alterations











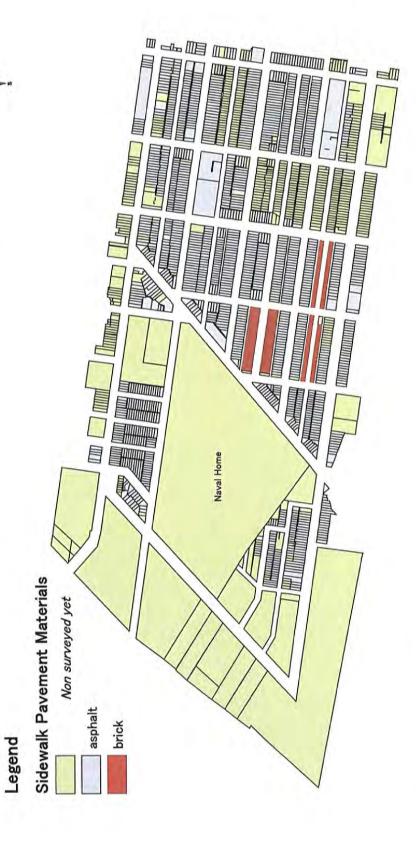


Stoop



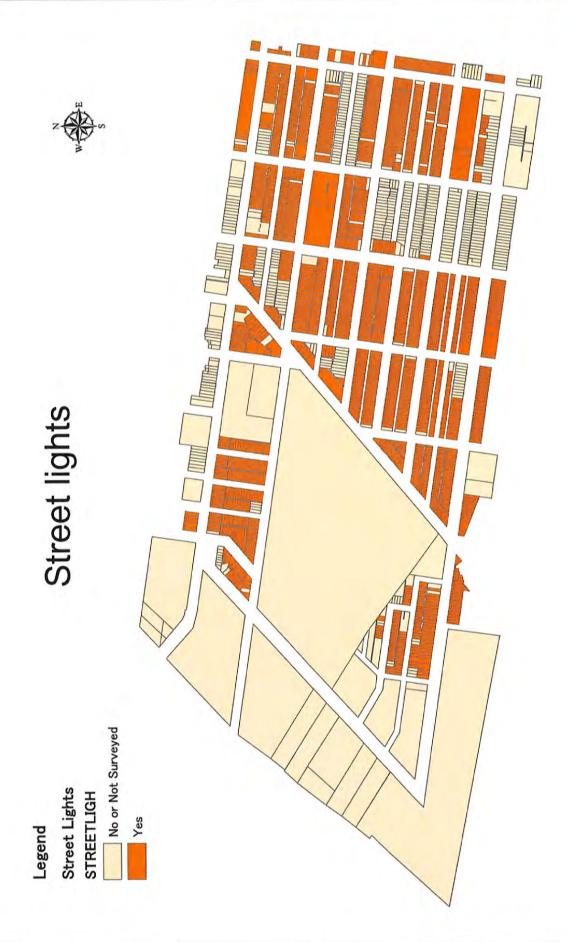


Sidewalk Pavement Materials







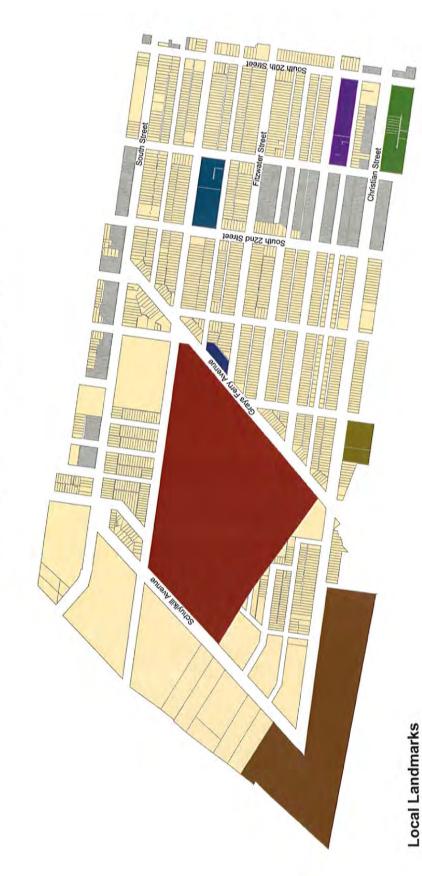








Local Landmarks



Church of the Lord Jesus Christ of the Apostolic Faith Greater St. Matthew's Baptist Church William S. Peirce Middle School Chester A. Arthur Public School

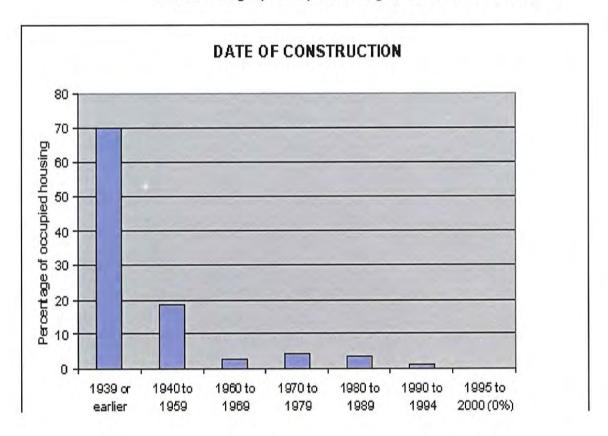
Not Surveyed

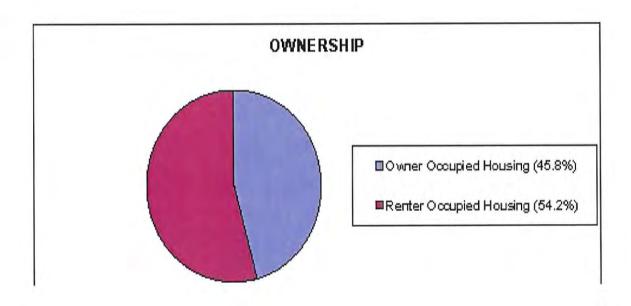
St. Charles of Borromeo

PECO/Trigen Naval Home

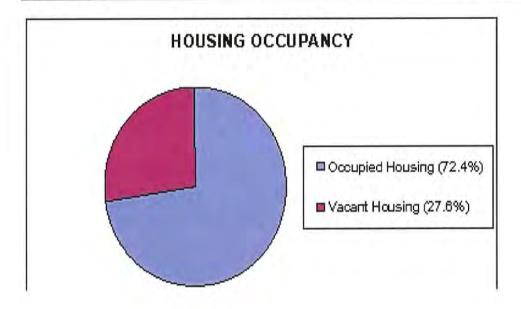


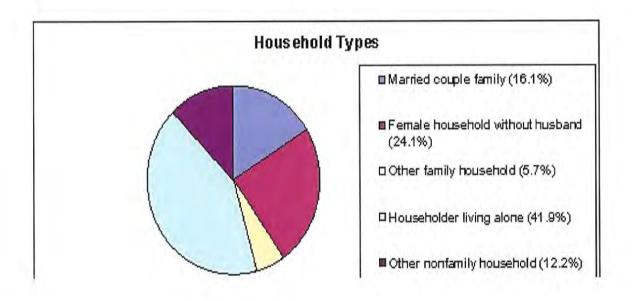
Charts and graphs representing data from Census 2000.



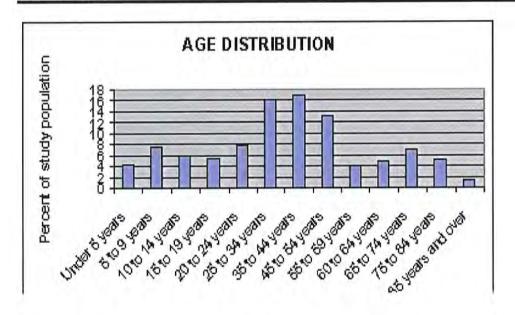


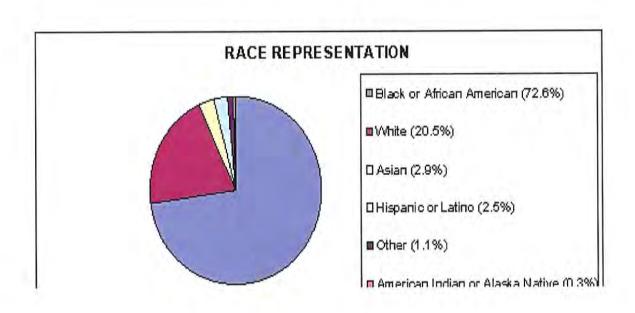














Questions for Community Organizations/Schools:

- 1. When was the organization founded?
- 2. How or why was it founded?
- 3. How long have the people (members, volunteers, leaders, etc.) been involved with the organization?
- 4. Is the organization affiliated with another group in the neighborhood/city?
- 5. What are the goals/objectives/responsibilities of the organization?
- 6. Does the organization hold regular meetings? If so, when? Are the meetings open to the public?
- 7. What changes would they like to see in the neighborhood?
- 8. For the people in the organization, do they live in the neighborhood? If not, where do they live? (If yes, can ask questions from 'people on the street' list).
- 9. What is their interest in the neighborhood?
- 10. In what ways do they connect with the neighborhood/community do they have events/activities?
- 11. What are their views on preservation?

Schools

- 1. When was the school founded?
- 2. Do the students live in the vicinity or are they bussed in from the suburbs?
- 3. How many students go to the school?
- 4. How long have the teachers/principal worked at the school?
- 5. Do any of the teachers/principal/staff live in the neighborhood? If yes, how many?
- 6. What is the current condition of the school?
- 7. Are the needs of the school being met? (Do they need money for repairs, is there a need for more space? Do they need a parking lot? Playground? Student/teacher supplies?
- 8. What is the make-up of the student body? (ethnicity)
- 9. Is there an active PTO? (Parent Teacher Organization) If yes, what is their involvement with the school? How active are they? What activities have they done?
- 10. Has the school ever been under the threat of closure?
- 11. Does the school have any after school programs?
- 12. Is the school involved with any of the community organizations?

List of Question Topics: Religious Organizational Leaders

Name?

Organization?

Position within Organization?

How long have you been affiliated with this organization?

How long have you been in this position?

Do you live on church property/rectory/or in the neighborhood?

How old is your Organization?

What is the cultural and ethnic make up of your Parishioners/Congregation/Members?

From what part of the neighborhood does most of your congregation live?

In what age group would you say the majority of your congregation falls between?

Are there many families or is it mostly single people?

What other types of services do you perform for the community?

Is your Organization affiliated with any other religious or non-religious organizations in the community?

How would you describe the immediate neighborhood around the church/mosque? Is it safe?

What do you consider to be the community boundaries around your church/mosque/meeting hall, if any?

Are there any local landmarks that you or your congregation considers to be important in the neighborhood?

What are some of the activities that you know of that bring the entire neighborhood community together?

Have there been any changes in the neighborhood that you have noticed since living there?

What would you like to see change in the neighborhood?

What would you like to see remain preserved or cared for more?

Do you know of any people in your community who we could contact to assist us?



Survey for Business owners in Neighborhood:

- 1. How long have you had your business in the neighborhood?
- a) Do you live the in the neighborhood as well?
- b) If not, why did you choose to operate your business in this area?
- c) If not, have you thought about moving into the neighborhood?
- d) If not, do you spend time in the neighborhood after business hour?
- 2. What is the make-up of your clients?
- a) Do most of them live in this neighborhood as well?
- b) If not, why are they here in this neighborhood (work, eating-out etc.)?
- 3. Are you involved in any neighborhood activities?
- a) What factors in the neighborhood affects your business the most (crime rate, infrastructure, public transportation, architecture, etc.)? Both good and bad.
- b) Have you been involved in any activities to promote the positive factors?
- c) What changes have you noticed in the neighborhood? Both good and bad.
- d) What improvements would you like to see happening in the neighborhood?
- 4. Do you own the shop/office space or rent?
- a) If you're the owner, have you made any improvements to the building?
- b) Do you own any other properties in the area?
- c) What are the other uses of the building (residential etc.)?
- d) How does the other residents feel about living in a mixed-use building?
- e) Do you prefer to operate in a historic building or new construction? And if that will make any differences to your business?
- f) Do you think being in a historic neighborhood can improve your business?

Survey for Corporate Enterprise stakeholders in the 2003 Studio Neighborhood:

- 1. How long have you been in this area?
- 2. Are you involved in any philanthropic activities?
- 3. How have you pursued any community or public relations?
- 4. Are you involved in any neighborhood activities (sponsorship)?
- 5. Would you consider anything a "local landmark" in this area?
- 6. How do you think the area could be improved?
- 7. Are there any problems in the area that you would like to address or that directly impact your operating your business (crime, lack of transportation, etc...)?
- 8. Have you noticed any changes in the neighborhood since your establishment, both good and bad?.
- 9. Have you made any physical modifications/improvements to your facility or grounds?
- 10. Why have you made these improvements? (aesthetics, business function, etc...)
- 11. Do you own property that you plan to develop further in the future?
- 12. What do you consider is the boundary of the neighborhood?
- 13. What percentage of your employees live in the subject area?
- 14. For those resident/workers, are they mostly single, or do they have families?
- 15. Any other statistics on workers? (age, income level, etc...)



This page is the list of questions asked of the small business owners and the two following pages are the results from those questions - they correspond vertically.

Survey for Business owners in Neighborhood

How long have you had your business in the neighborhood?

Do you live the in the neighborhood as well?

If not, why did you choose to operate your business in this area?

If not, have you thought about moving into the neighborhood?

If not, do you spend time in the neighborhood after business hour?

What is the make-up of your clients?

Do most of them live in this neighborhood as well?

If not, why are they here in this neighborhood (work, eating-out etc.)?

Are you involved in any neighborhood activities?

What factors in the neighborhood affects your business the most .

(crime rate, infrastructure, public transportation, architecture, etc.)?

Have you been involved in any activities to promote the positive factors?

What changes have you noticed in the neighborhood? Both good and ba What improvements would you like to see happening in the neighborhood.

What changes have you noticed in the neighborhood? Both good and bad. What improvements would you like to see happening in the neighborhood? Do you own the shop/office space or rent? If you're the owner, have you made any improvements to the building? Do you own any other properties in the area? What are the other uses of the building (residential etc.)? How does the other residents feel about living in a mixed-use building? Do you prefer to operate in a historic building or new construction? Do you think being in a historic neighborhood can improve your business?



	Perry			
Mike	Perry's	Juan	Dolores	Sam - Sanne's Middle
Calahan's Grille	Phashions	Reyers Grocery	A Flower Ring	Eastern Cuisine
70+ years	6 years	7 years	8 years	4 years
yes	no location on South	no	no location to South	no
-	St.	-	St.	-
-	no	no	yes	no
-	yes	no	yes	no middle-income, broad
Caucasian	AA women	Hispanic/AA	AA/Caucasian	range
Yes	yes	yes	yes/no	yes
Yes	yes / SSWBA	no	yes	no
-	Infrastructure	crime	crime/infrastructure	-
No good/ more	no	no	no	-
people buying	good/ More	More police		
houses less transient	professionals moving into the	presence		good, more businesses
population	neighborhood	-	more houses to be	development of naval
clean up trash	-	clean up trash	fixed up	home
Rent	rent	own	rent	rent
-	•	no	-	-
No	no	yes	no	no
residential	residential	residential	residential	store
like it	like it	like it	like it	-
historic	historic	doesn't matter	historic	new
Yes	yes	no	yes	doesn't matter



Sheriff - V, Ransom Hair Zone Barber Shop	Radovan hardware store	Lee Bicycle therapy	Jake Rim's cleaner
7 years	10 years	14 years	28 years
		yes (out of studio	
no	no	boundary)	no
location	•	proximity to home	
no	no	-	no, too expensive!
no	yes	-	no
AA, some Hispanics and few whites. Ollder			
age-group and long-term		broad range, young to	Half high-low income,
customers. Mostly man.	no specific group	middle age	Half-AA/Caucasian Half high-low income,
half used to live here,	yes	no	Half-AA/Caucasian
customers from previous			used to live here, work
location	-	reputation of business	in the area
no	no	no	no
-	-	-	-
crime and transportation	-	-	income level of residents
no	-	More businesses on	•
increase in income level,	increase in income	South St, better in	increase in income level
more businesses	level	general	and property prices
none	none	none	-
rent	own	rent	own
-	yes	-	yes
no	yes	no	yes
-	residential	commercial	store
-	-	-	-
doesn't matter	doesn't matter	doesn't matter	new
doesn't matter	no	doesn't matter	doesn't matter

Appendix A.3

People on the Street Interview Responses

Questions

Name

Gender

Approx. Age

Race

Location of Interview

Lives in the Neighborhood

For How Long

Owns/Rents

Lives with Family

Where Children Attend School

Mode of Transportation to School

% of Time Spent in Neighborhood

Works in the Neighborhood

Where Shopping is Done

Attend Church

Recreation

Mode of Transportation

Absent Resources

Present Resources

Neighborhood Boundaries

Strong Sense of Community

Diversity

Different Groups Get Along

Involved in Neighborhood Activities

Positive Changes in Neighborhood

Negative Changes in Neighborhood

Home Improvements

Worth Saving Historic Built Environment

Opinion of New Buildings

Opinion of Developers

Opinion of Naval Home

Opinion of Proximity to River

Opinion of Community Gardens

Opinion of Industrial Area

What Makes the Neighborhood Special

What is Worth Being Saved/Protected

Safety of Neighborhood

Best Thing About Neighborhood

Worst Thing About Neighborhood

Favorite Feature in Neighborhood

Appendix

""

Female

30s

African-American 22nd near St. Albans

Yes

Homeless

No

Pathmark

No

Bus

No

Alright

Nothing

Male 63

Caucasian Stillman Street

Yes
63 years
Stays with sister
Yes (sister)

100% Retired

South Street; Pathmark Not in the neighborhood Parks Walk

Closer stores

"Naval home, St. Patrick's, St. Charles, St. Gabriel's"

No

No

Neighbors fixing up their homes

"No catholic church, no stores, no school; generally getting worse"

"Yes, to keep maintained" Likes living in Devil's Pocket

"Neighborhood needs new buildings, they keep promising to build on

all vacant lots."
No opinion

"Likes it, but disgusted that it is not maintained. Went to some public

hearings to see proposed designs and was impressed."

Devil's Pocket has a unique shape and is tucked away so if you

weren't looking for it you would never find it

Naval Home and churches

"As safe as you can feel in the city, anywhere for that matter"

My home

"No catholic church, no catholic school, no stores"

My home

Male

60s

African-American 2400 block Christian

Yes 7 years Owns Yes

Walk 100% Retired Pathmark No

Grandkids go across street to playground

Car

Lights in alley

No boundaries

Yes



None

None

"Yes, to make better"

No access

Great for many reasons

Closeness of neighbors Community gardens "Yes, but be smart" Neighborhood feeling

Crime

Community gardens

Friend next door got him to buy house in neighborhood

Kids

Kids

Nothing

School across the street

Female

60s Caucasian

2100 block Kater

Yes 25 years Owns No

Michael Male

40s

Caucasian

2100 block Fitzwater

10 years Owns No

25% Retired

South Square No

Block Bus or bike Police

40% Center City Whole Foods

No

Community garden Car or walk

Not enough green space

Block Yes Yes Yes

Block parties and gatherings

None

Prices of houses going up "Yes, what's necessary"

Block Yes

Yes

"Yes, some owner/renter tension"

Community gardens and garden workshops in neighborhood

Wants Toll Bros. to get it over with

None No access Great

"Development done with no consideration of streetscape such as no replication of marble bases on new buildings to match older ones, development also done on top of community gardens"

Yes

Likes older rowhouses on block

"Development done with no consideration of streetscape, such as no replication of marble bases on new buildings to match older ones, development also done on top of community gardens."

"Development done with no consideration of streetscape, such as no replication of marble bases on new buildings to match older ones, development also done on top of community gardens"

Caring people that help each other Feeling of small streets "Yes, if you keep your wits" Close to shops & 176 Crime

Small and quiet street

Appendix A.3

Walk

Male

Female

20s

Caucasian

2000 block Webster 20th - 25th and Catherine - Bainbridge

Yes Yes
4 years Yes
Rents Yes
Yes (child) Block parties

Lots of new young homeowners

50% No

Center City
Pathmark
Rrebuilding abandoned buildings is good.

No

Not in the neighborhood

Due

"Beautiful, nice addition, brings people together"

18th - 23rd and South - Christian Diversity

Yes
Yes
Sort of shooting the other night nearby
Yes
"Diversity, convenient to Center City"

Block parties "Young, rowdy 18-30 yr olds"

None Community gardens

None

No _____

Fine

35

Fine African-American 2100 block St. Albans

Quiet and peaceful 35 years
Owns
Most of the time Yes

Peace

_____ 25% Temple University

Ronald

Male Not in the neighborhood

40s Car or walk African-American

2000 block Catherine
Washington Lombard

Yes Washington - Lombard 3 years "Not a community, it is a neighborhood"

Rents Yes No No

Development can be good but it is displacing low income long term

40% reside

Rittenhouse Square Development can be good but it is displacing low income long term

ShopRite residents



Development can be good but it is displacing low income long term residents	Male 50s African-American 2000 block Fitzwater Yes
The people	38 years Rents
Yes Block parties but many things "Shootings (shot 5 times), community torn down"	100%
	Unemployed Pathmark Yes (St. Dunkar)
Female 31 African-American 2100 block Fitzwater	Bus
Yes 31 years Rents Yes (daughter)	Block
50% Center City South Street Yes (St. Matthews) Not in the neighborhood Bus or walk First time homeowners help center; better supermarket	
19th - 23rd and South - Catherine Yes Yes Yes No	
Owners ignore renters a bit	
	Henry Male 70s
"Ok, feels excluded"	African-American 2200 block Fitzwater
Elderly still watching out for the young	Yes 45 years
Yes "Diverse, clean, people still there" Crime	Owns
Philly skyline from her apt.	50% Retired

Appendix

Acme on 11th & Pathmark Yes (St. Matthews) Schuylkill Park Car or walk

"Yes, painting is necessary"

People who used to live there are coming back

Can demolish and have new construction if building is boarded up or bad condition.

25th - 20th and Bainbridge - Catherine Yes

Yes Yes It's about time they do something decent with the property.

No opinion

"Likes them, would like to see a larger park for the kids"

People who used to live there are coming back

"Yes, now since the police cleaned up the drug dealers around the corner"

"Active long ago, but not now"

Likes it but floods

"Likes them, but they need more space and too often they are bought up by developrs"

The people

Yes

Young getting ahead again

Drugs

St. Matthews (1st choice was torn down: Plymouth Dodge)

2107 Fitzwater Yes 91 years

African-American

Lily Female

101

Owns Yes

100% Retired

Dorothy

Female 86

African-American 2316 Fitzwater

Yes 66 years Owns Family drives her around as needed

Yes Yes

Yes

Block parties

None None

"Yes, what's necessary"

75%

Shiloh Baptist

Pathmark and market at 18th & Christian

Yes (Shiloh Baptist)

"Walk, bus, or car"

Restaurants; closer market; green space

Washington - South and Schuylkill - Broad

Yes Yes Some Block parties "Wish they would do something with it, visited when she was a

child."

Not familiar with the area Would like one on her block Not familiar with the area The history and people **Appendix**

2200 block Fitzwater

Yes



12 years Rents "Conveinent to Center City, good neighbors" Yes No Bus Not much Unemployed South Square; Pathmark Not any more Watch kids; play music Female Walk or bike 16 African-American 2100 block Fitzwater Washington - Lombard and Broad - Gray's Ferry Yes "Knows neighbors, keeps distance" 2.5 years Yes Rents Yes People are transient and moving in and out Most of the day Yes Pathmark; South Square "Yes, encourages signage" Prefers the old buildings Ok Taney Field; walks; bikes Take the time to see it Bus "Used to swim there, should be made safe for kids" Shopping 4 blocks north of Fitzwater No Me and my kids Yes No such thing as safe Yes No Drugs in neighborhood Proximity to Center City New people start fights Some of it Some Keep it Buddy Likes Male Do more to encourage 50s Doesn't look safe African-American Block captain 2200 block Fitzwater All of Fitzwater Yes Stays inside 31 years Rents Street litter Taney Field Park statue and fountain No 50% **Broad & Carpenter** South Square; Pathmark Male Yes (St. Matthews) 40s Wants a playground for kids African-American

Walk or bus

Togetherness of community; playgrounds; mailboxes



Bainbridge - Washington and Gray's Ferry - Broad

"Little bit of everybody around, sometimes causes tension"

Yes

Too separated

"Used to have things for kids on street, not anymore"

New development breathing life into area

Used to be more family oriented

"Yes, keep Naval Home"

Great

Great

"Housing okay, but should also be open to public for shopping, etc."

Should have a park or playground

"Beautiful, better than trash"

Proud of industrial area because they take care of their sector well

Proximity to center city

More should be torn down and rebuilt to encourage change

Yes

Proximity to Center City

Drugs

St. Matthew's Church

Doesn't bother her but knows some people who were concern with safety issues

Doesn't bother her

The long-term residents

"Generally yes, but will be concern about walking home alone at

night"

Mac

Male

50s

Jewish

2300 Gray's Ferry

Yes

38 years

Owns

No

Yelanda

Female

50s

African-American

2200 block South

Yes

25 years

Owns

No

After work and weekends

Center City

Pathmark

No

"SEPTA, on weekdays, walk or car on weekends"

South - Washington and 20th - 22nd

Yes for long-term residents

Yes

"Yes, but not much interaction"

No

"Chages in economics, businesses changing hands"

More repair/improvement projects that are often left unfinshed

"Yes, thinks restoration/repair should always be considered above

demolition"

Ok unless they disrupt streetscape

Most of the day

All over the city (plumber)

Thrifyway on South St; Baber shop on Lombard; Bicycle therapy on

South; Rim's cleaner on South

Yes (Synogue on 18th and Lombard)

Biking to river from or all around neighborhood

Car or bike

Lombard - Christian and 18th - Schuylkill river

Yes

Yes

Residents are accepting and tolerating between different groups "Yes. Some resident self-initiated project e.g. clean the street

campaign, repairing public fountain etc."

People become nicer and accepting as residents learn to get along

"Yes, general repair and maintenance, restoration of historic buildings, etc."

"Yes, regulations for certain unique buildings should be enforced"

Ok if the historic building can't be saved

Likes it

Diversity

Yes

Appendix

3

Yes Diversity and just generally nice 40 years Rents Yes Granddaughter goes to school at 24th & Christian Male 60s All day African-American Unemployed Italian Market 2200 block South No (granddaughter goes to St. Matthews) Yes Whole life Owns Taxi Block captian Yes No Bus Not anymore Most of the day 2200 block South Yes Reading Terminal; Superfresh People get along Yes (2100 block on Lombard) No "Displacement of long-timers due to rental increase, block dirtier, **SEPTA** loss of community spirit" Affordable local shopping; entertainment venue for African Americans "Yes, thinks it is important for younger generation to learn about history of neighborhood" All of South Philly/South Center City Prefers historic buildings Yes Does not approve Yes "Important landmark, and should be preserved." "Yes, but not much interaction" No Likes it and would like to have more Think it makes the area messy "Closing down of theater on 2200 block of South, presence of The people homosexsuals, increase of income level" Naval Home "Yes, when necessary" Yes Yes The people Ok "Cleanliness of block, no block captain" "Not ok, developers are only concerned about making profit and Home don't care about the community" "Thinks any new development that will take place should not be seggregated from the community, does not like the fence/gate." Female Doesn't bother him 30s History Caucasian Gray's Ferry and Fitzwater Yes "Just outside, 26th and Lombard" Just nice in general Several months No problems Rents **Nothing** No

Jackie Female 60s

African-American 2200 block Pemberton Center City Center City

Takes lots of walks around the neighborhood

"Walk, bus, taxi. Thinks public transportation is very inconvenient"



Shopping; restaurants

Senses that people have been in the neighborhood for a long time. Many people on her block know each other Her block is mostly white.

have moved in recently keep to themselves

"Is the ""eyes"" of the neighborhood. Watches over people, makes sure they keep the street clean. "

Couple of houses have been fixed up in the past couple of years.

Lots of gentrification going on. Sees a lot of houses on her block that are being fixed up.

Thinks the garages in new homes take up too much space. Is afraid that development will drive up prices and she will have to move.

"Did not know what it was but had always wondered. Thinks it would be nice if it could be turned into green space for the community. Otherwise, affordable housing"

Has been watching some of the development. Thinks it will make the area safer and more pleasant but will drive up the rents.

All cleaning of block is done by the people who lives there. When Rizzo was mayor he city would sweep the block at least twice a week.

Area is walkable

"Feels a bit on the ""outskirts"""

Female 70s

African-American 2200 block Fitzwater

Yes 47 years Owns Yes Female 70s

African-American

2200 block Madison Square

Yes 40 years Owns

Yes (husband and one grandchild)

They used to

All day
Unemployed

Pathmark: South Street

No (grandchildren go to Sunday school at 21st and Christian)

Is not very mobile

Has everything she needs

Block

No longer have a block captain. People take care of the green space in front of their house. Some people have cookouts. Knows everyone on the block.

Mostly African-American. One Mexican family on the block.

Block

Yes. Grew up with the block captain. Only one block party in many years. Most people on block have lived there a long time.

"Yes. Neighborhood was mostly white, then mostly African-American, now chaning again. "

Most people know each other and are friendly. Some people who

Some houses have been fixed up recently.

"Drugs came into neighborhood 3-4 years ago. People hanging around, robbing. Lots of empty houses, high turn over rate from renting to college kids."



None

"Safe place to bring up children, no cars."

"Yes, people know her and leave her alone" Block is quite. Drugs and crime

Female

60s

Caucasian

26th bt. South and Bainbridge

Yes

60+ years

Owns

Yes (husband)

Daughter went to St. Anthony's which has since closed down.

Septa

At least 80%

Retired

King of Prussia (clothes and household items); Pathmark; Redding Terminal (produce)

Attended St. Anthony's until it closed. 4 generations of her family were married there. Now goes to St. Patrick's at 20th and Locust "Kids went to Schuylkill Park, Taney Field, swimming pool on South "Car or walk

Good corner store (Nearby WaWa closed)

"""Schuylkill Neighborhood"" South - Bainbridge and Gray's Ferry - Schuylkill Ave. "

Very strong. People will take in your packages etc. You can count on anyone in the neighborhood in case of emergancy.

"Mostly white but a couple of African-American families on the block. Religiously diverse - Jews, Catholics, Muslims. Not too many children but students, middle-age and old timers. "

Yes

Attends some SOSNA meetings. Has attended meetings about Naval Home.

"3-4 couple moved in recently, very nice and likes that they are home owners. Likes renters too but the landlords do not take care of the property. Noticed a tremendous amount of change in 60 years but all for the better. Trees were only planted 30 years ago. Used to be a lot of children but prices went up 15 years ago and people moved to suburbs. "

Used to be a community center called University Settlement House that was toen down

"Yes, old houses need constant maintainance"

"Yes, loves Philly row houses and wants them to stay"

Doesn't mind new development because it adds to property value of her home

Doesn't mind new development because it adds to property value of her home

"Has been waiting long time for something to be done. Several years ago a proposal for the exit of the development to run through her block. Went to Christmas parties there in 1940s. Sentimental attachment - had her wedding photos taken there. Wants to keep historic building. Development should be respectful of the surrounding neighborhood. Doesn't care about "being entitled to green space" - Naval Home has never been accessible. "Doesn't think about the river at all. Dirty. Suposses that if it were cleaned up people would go there.

There are none in her neighborhood. One at Schuylkill Park but long waiting list.

Doesn't care. It has always been there.

The sense of community among the neighbors.

Naval Home Absolutely

Proximity to Center City

Parkig situation

Male

50s

Caucasian

2200 block Norfolk

Yes

2 years

Owns

No

About 30%

At U. Penn

Grocery store on South Street; SuperFresh and Home Depot near Delaware.

"He is an Episcopal Priest at St, Mark's on 16th and Locust" Walks dogs in alleys

Car

"Gray's Ferry, 22nd Street, and South Street. Does not often go outsided of those boundaries."

Definitely no. Problems with neighbors about trash. Used to be a block captain but she quit b/c wasn't getting any cooperation. No. Mostly African-American.

No

No

"Community is changing. Has seen new young couples moving in. Houses going for 3 times what he paid. Bought the house as an short term investment, plans on moving out soon."

"Yes, but has tried to keep it architecturally acurate"
"Yes, wants the community to stay the same architecturally. Likes historic houses, would like to see more restored."



Would rather old buildings be fixed up.

The sooner development starts the better. Will increase the value of the neighborhood.

Doesn't ever think about the river. Has no time and it is not safe. Wouldn't even know how to access it. Development would be great. Doesn't go to them

Anticipating that stores will open up soon.

Drugs. Used and sold at house next door b/c it is currently empty. Does not think that people respect the original architecture of their homes as much as they should.

Original row houses and Madison Sq. and St. Albans.

Yes

Proximity to U. Penn

Drug infestation. Cops are not around often enough.

Male

30s

African-American

Fitzwater and Gray's Ferry

Yes 15 years

Rents

Yes (brother)

Males

30s

Caucasian

2200 block Madison Square

Yes

Just bought last spring. Have not moved in yet.

Owns

All day. Stands around and talks to people.

Unemployed

Pathmark; McDonald's; Blockbuster

Yes (St. Matthews) Sweat' on Walnut Street

Bus or walk

Pharmacy; more stores on South Street; more fast food; places to sit and hang out; stores at ground level of garage to create activity so people aren't scared to go there.

Washington - South and Schuylkill - Broad Street

Not yet. Lot of new people who don't know each other yet. Pastor at St. Matthews has been working to improve the neighbohood.

"Yes, Mexican, Chinese, White, Black."

People mostly get along but there are a few people who cause problems

Very involved in the church.

"Rev. at St. Matthew's Church is doing a lot of work to make Gray's Ferry part of the city again, people starting to catch on. "

Used to be an active neighborhood. Now people are scared to come.

"Yes, new neighbors next door just bought the house and are completely restoring it. Removed aluminum that covered cornice etc.

Restaurants; coffee shops; grocery etc.

"Realtors listed the property as ""Graduate Hospital"" Wouldn't go further west than 22nd except to Penn. Wouldn't go south of Christian Street."

People have been nice and all seem to know each other.

"Yes, having a copy of original door made. Trying to salvage all architectural features (molding, floors, etc.)"

Wants to see the Naval Home developed but will drive up prices and force people out of their homes

Does not want historic buildings messed with. Very important historically. Condos are okay as long as they preserve the old buildings.

Very important. Every June Odumday hosts an African celebration where people go to river and throw fruit in for the spirits. Likes the mural paintings and likes that people take care of the gardens.

"The ""Love"""

Does not want to see old houses torn down. It is tearing down history. Important that children know the history of Philly

Historic architecture

Appendix A.3

"Yes, used to be a gangster so he is known and left alone" Loves that people are starting to get to know each other and feel safer in the neighborhood.

Drugs and not enough police presence.

St. Matthew's church

2000 block Catherine No

Male 50s

African-American 2200 block Christian

Yes 2 years Rents Works at Aurther Elementary School as crossing guard - 11 years

Scool kids go to recreation center at 17th and Fitzwater

West and south of school familes have been in neighborhood for a long time. Well established neighborhood and people don't want to see it torn down. Corridor that runs east-west along Christian and Carpenter does not have strong sense of community but areas north and south of that do

Largely African-American but sub-sections of different groups. 20th and Webster area increasingly Latino. Some Cambodians. No. Enjoys the diversity

NO. Liljoys the diversity

Big improvements in past couple of years. Not as many people just hanging around. More police. Physical improvements - newly renovated buildings near school. Vancat lots have been cleaned up and turned into community gardens.

Ued to be a lot diretier. Goes out every morning and picks up trash in front of house. Other people started doing the same. Block captain worked with city to get garbage cans on the corners.

Lot near school used to be filled with trash and rubble. Now flowers etc. No longer an eyesore.

Area is safer than it used to be.

Ann Hoskins-Brown

Female 40s

2500 block Christian

Yes 15 years Owns No Greenfield

Female 40s

African-American



Driven

SOSNA South Square

Car

Bank; parks; river access; stores; good schools

South - Washington and Broad - Schuylkill River

Yes

Yes

Yes

"Less violent crime, more diversity, new development"

"New residents seem less active in community, more transient"

"Yes, complete renovation, 15 year project"

Yes

"Does not mind new development, but does not like garage fronts on newer development"

Approves when done well

Working as community liason with Toll Brothers

Working with new owners of JKF building to negotiate river access

Tradition of acitivism and community togtherness; diversity; welcomeness to artist community

Naval Home

Yes

Diversity and affordability

Lack of ammenities

"Landmarks: Naval Home, Shiloh Baptist Church, Marian Anderson's home, South St., Tindley Temple, Apostolic Sq., Rec. Center, Christian St. YMCA, Belmont Y, St Charles, Brandywine Workshop, The Clef Club"

Walker Gilmore

Male

2300 block St. Albans

Yes

2 yrs

Owns

Not much Center City

"Mostly in the neighborhood; goes elsewhere for housewares,

building supplies, etc"

Νo

Gym near work in Center City

Walk

South - Washington and Broad - Schuylkill River

Yes

Yes

"People get along mostly, seems to be some tension with new arrivals - seem to have more money and are at a different point in their lives"

"Yes, mostly neighborhood meetings "

"More white people seem to be in the area, especiall young white women; also a lot of investment, a dumpster on every block"

"Yes, gutted and renovated the entire place as squatters had been there previously"

"Yes, traditional land uses and density/walkability is the reason purchased house in this neighborhood. Likes old houses and older styles of living."

"Mostly likes new investment, although does not like when public parking spaces are privatized by front loaded garages on new houses."

Great as long as they do a good job and don't take too many parking spaces off the street and interrupt the sidewalk a bunch.

Would like to see it developed in a nice manner.

Likes it but would be happier with better riverfront access.

"Likes them, mostly. Would like more public open spaces and these are interim uses until the parcels are developed."

"I like the diversity in the community, although that is often a transitory experience, I like the mix of older and younger folks; I like the housing stock, the steet wall, and the close proximity to downtown and to walkable shopping."

Yes

Proximity to Center City

Lack of good neighborhood restaurants and retail.

"Density, proximity to Center City"





GEOGRAPHIC DISTRIBUTION OF SURVEY LOCATION

Legend: PO

POTS survey location

△ No. of surveys/block

Total No. of POTS survey=32

Small business survey location

No. of surveys/block

Total No. of Small Business survey=10



SOSNA Questionaire Analysis

SOSNA has been working over the past year in coordination with the City Planning Commission to develop a Neighborhood Plan for the area south of South and west of Broad. In order to gain community feedback about future development plans for the area, SOSNA has collected questionnaires at each of its community meetings and posted the questionnaire on their website as an online survey. The survey addresses issues such as transportation, open spaces, community heritage, and land use. So far they have collected approximately 100 forms, 20 of which were pertinent to our studio area. It is acknowledged that the results from these surveys will be skewed towards the views of those residents that are actively involved and interested in community organization, and, therefore, may not represent the views of the less vocal neighborhood contingents. However, the results of this survey were used in conjunction with our own resident survey in order to both broaden our sample group and to compare the effectiveness of each methodology.

The following report will briefly summarize the range of responses gathered for each question:

1. What do you consider to be the NAME of your neighborhood?

The answers were quite varied, ranging from Rittenhouse Square, Fitler Sq., Southwest Center City, Southside, Devil's Pocket, Graduate Hospital, South Philly, and South of South. South of South and Graduate Hospital were only slightly more common.

2. What do you consider the boundaries of your neighborhood?

The boundaries were mostly commonly referred to as South to Washington and Broad to the river. The southern border varied most often with Catherine St. and Christian St. as alternatives.

- 3. What is the closest intersection to where you live?
- All resident responses used for this study entered locations within our studio boundaries.
- 4. How long have you lived in your neighborhood?

The majority of respondents have lived in the neighborhood for less than five years. Only six have lived in the area for more than five years.

- 5. How would you rate the quality of life in your neighborhood today (circle one)? 0% Excellent; 40% Good; 45% Fair; 10% Poor; 5% No response.
- 6. Name three things you like most about your neighborhood.

Proximity to Center City 80%; Neighbors / Friendliness 40%; Affordability 30%; Diversity 25%; Redevelopment / Property value appreciation 25%; Housing stock / Architecture 15%; Miscellaneous – sense of neighborhood, quietness, walkability, stores, bus lines, history, gardens, and street parking

7. Name three things you like least about your neighborhood.

Trash 60%; Drugs / Crime 50%; Abandoned houses / Vacant Lots 30%; Miscellaneous – the bars, lack of amenities, lack of retail, Naval Home development, lack of green space

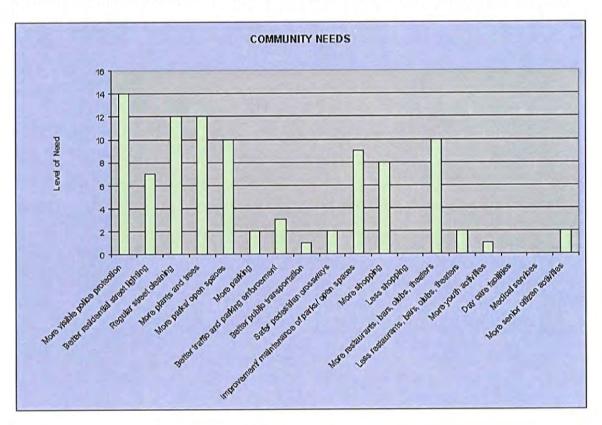
- 8. What **one** thing is needed most by your community?
- Miscellaneous clean-up, development of abandoned properties, police presence, local stores, open space, public space, and a "centerpiece"
- 9. Considering your community's **overall character**, please rate your satisfaction with the following items. Circle one choice for each option.
- 1 Very Satisfied; 2 Satisfied; 3 Satisfied Somewhat; 4 Unsatisfied

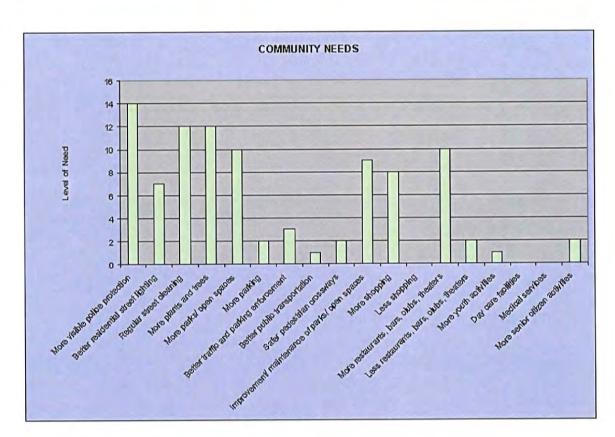
(Listed in order from least to most satisfied)



- (65) Cleanliness (Litter, Trash, Graffiti)
- (54) Safety
- (51) Restaurants/Cafes
- (50) Open Space
- (46) Shopping
- (42) Culture (Festivals/Special Events)
- (40) Identity or Sense of "Place"
- (40) Parking
- (39) Traffic Flow
- (38) Housing Appearance
- (37) Housing Type and Availability
- (37) Recreation Facilities
- (34) Safety Of Pedestrian Crosswalks
- (30) Community Involvement
- (29) Public Transit Service
- (28) Housing Affordability
- (28) Senior Activities/ Programs
- (26) Youth Activities/Programs
- 10. Which would most improve the quality of life in your community?
- (14) More Visible Police Protection
- (12) Regular Street Cleaning
- (12) More Plants And Trees In Neighborhood
- (10)More Parks/Open Spaces
- (10) More Restaurants, Bars, Clubs, Theaters
- (9) Improvement/Maintenance Of Parks/Open Spaces
- (8) More Shopping
- (7) Better Residential Street Lighting
- (3)Better Traffic And Parking Enforcement
- (2) More Parking
- (2) Safer Pedestrian Crossways
- (2) More Senior Citizen Activities
- (2) Less Restaurants, Bars, Clubs, Theaters
- (1) Better Public Transportation
- (1) More Youth Activities
- (0) Less Shopping
- (0) Day Care Facilities
- (0) Medical Services
- (0) Other (Describe)
- 11. If the "City of Philadelphia" could do one thing to help improve your neighborhood, what would that be? Most responses were aimed at keeping the streets clean of litter and crime as well as developing vacant lots and abandoned buildings.

Results from the South of South Neighborhood Association Surveys







South-Washinton Broad-Schuykill River

South-Christian 18th-23rd

South-Bainbridge
Grays's Ferry-Schuylkill Ave
Bainbridge-Catherine
20th-25th

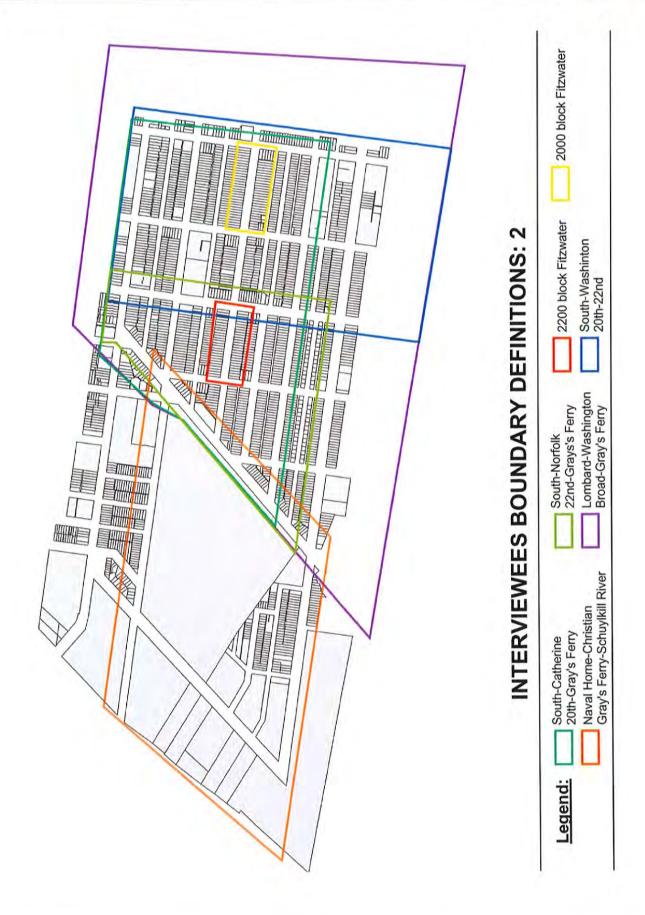
Lombard-Washington 21st-22nd

South-Fitzwater 21st-22nd

Legend:





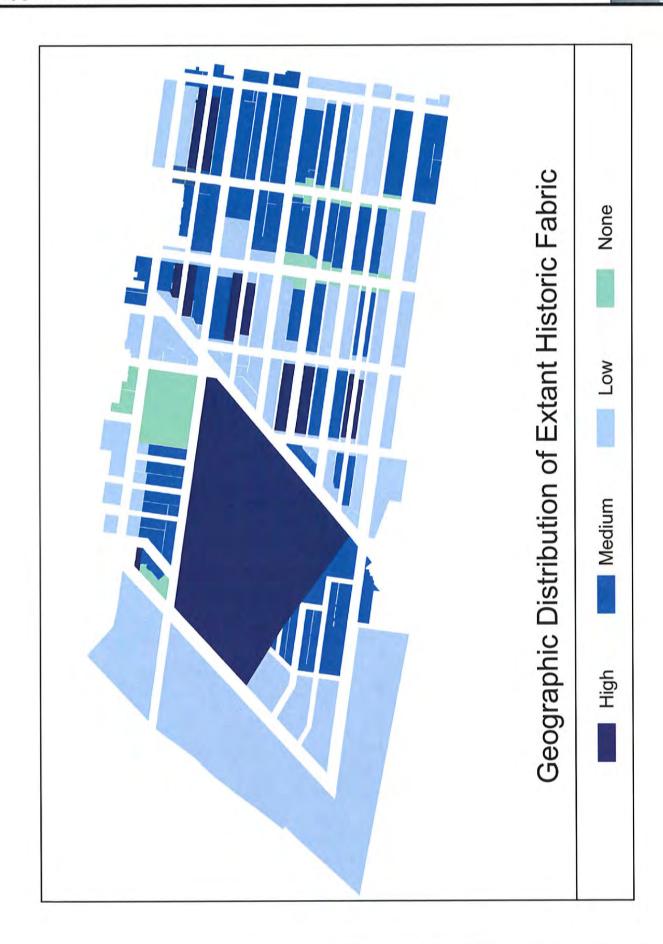




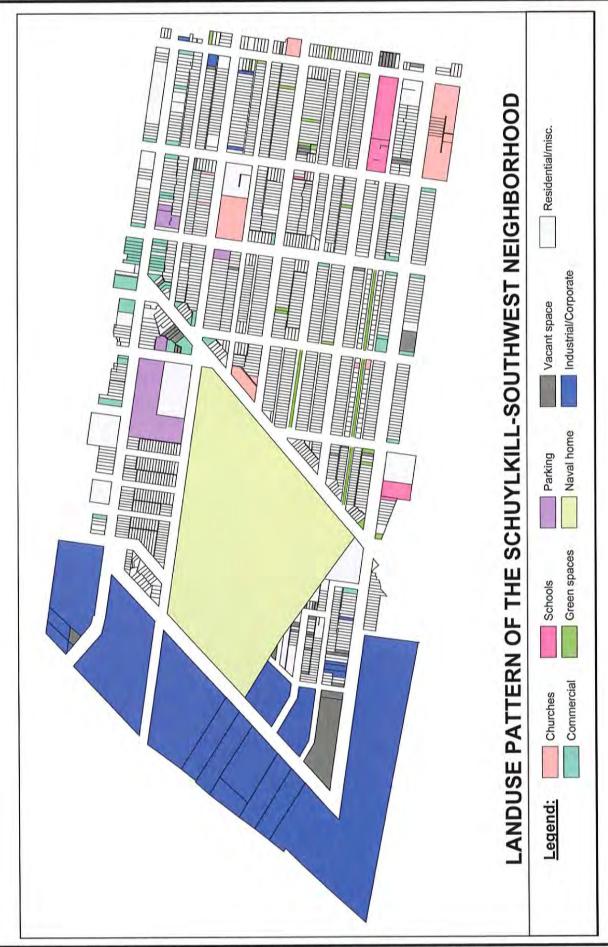


INTERVIEWEES BOUNDARY DEFINITIONS: 3

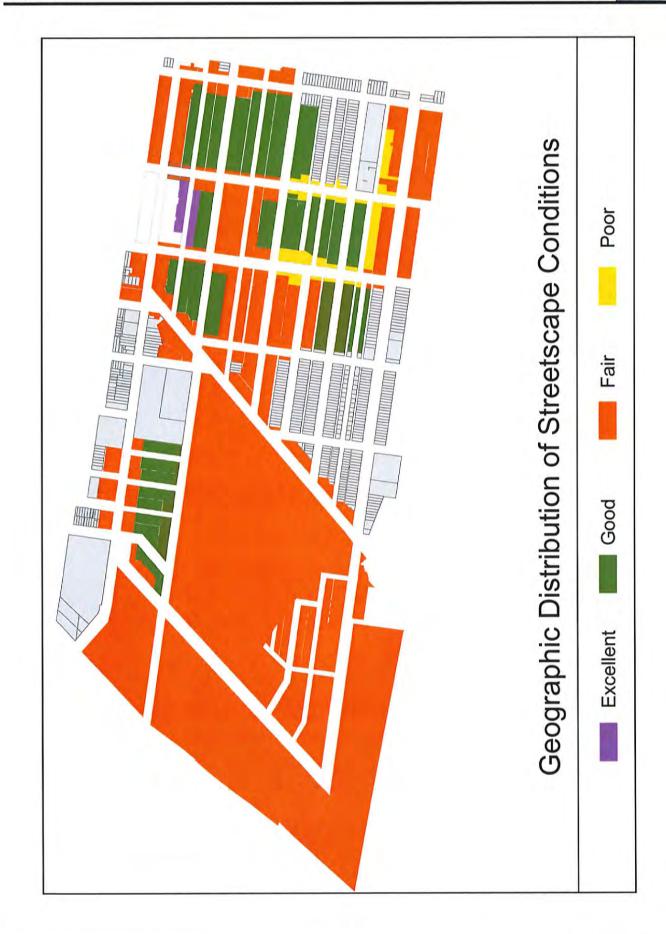




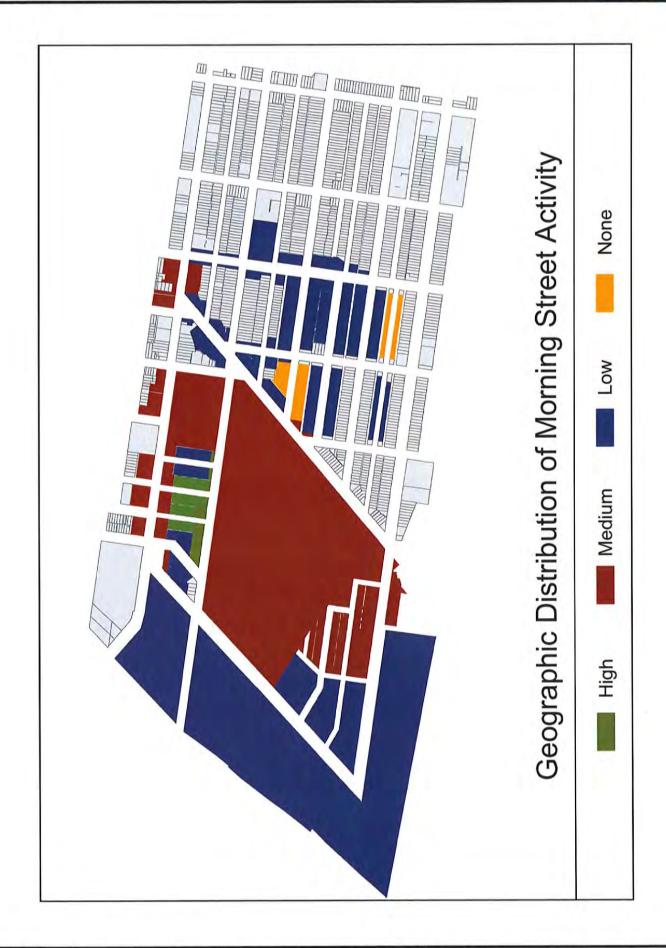




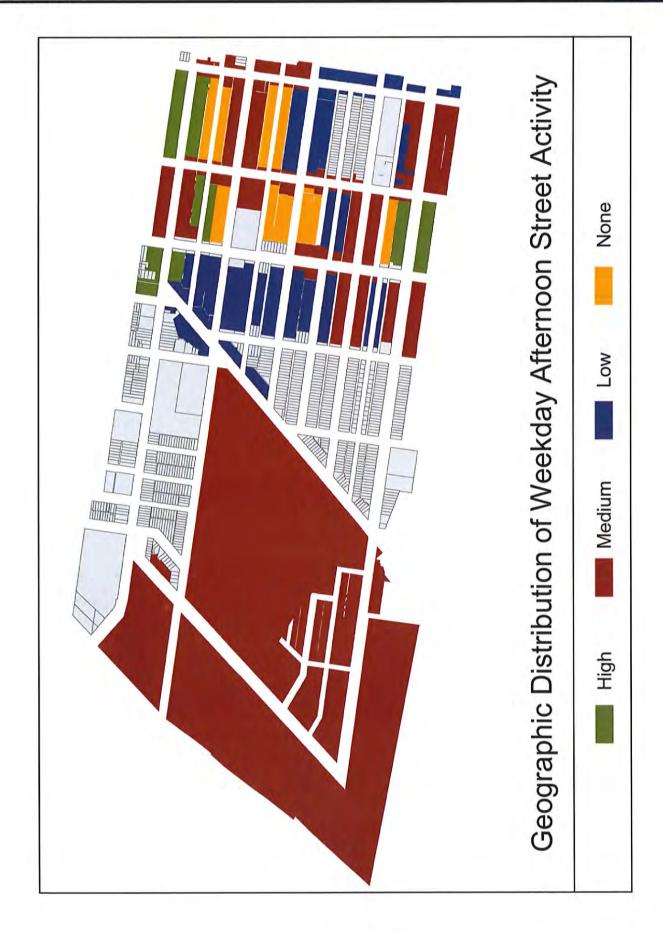




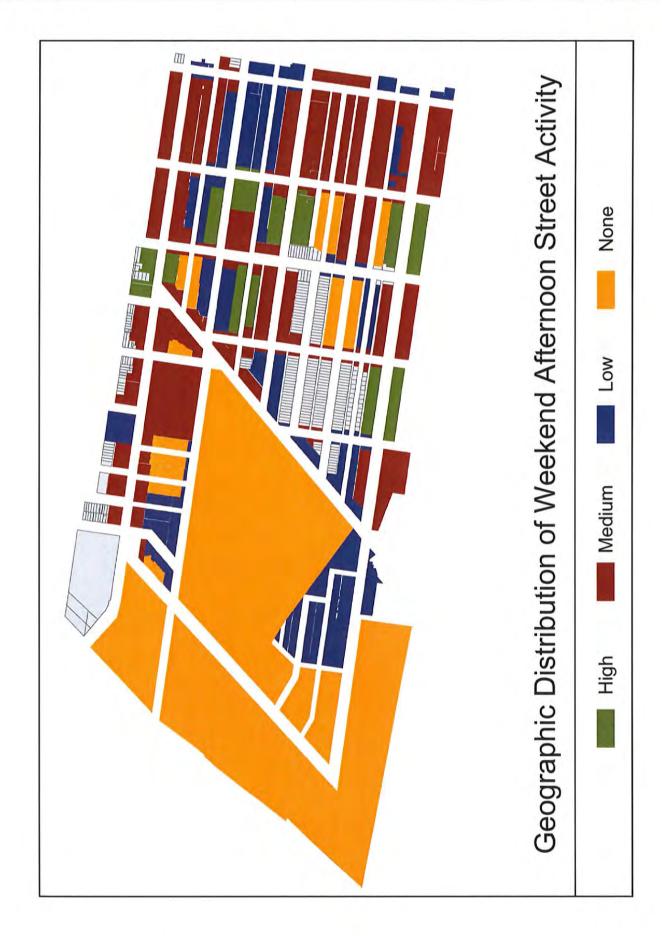














Political Matrix of Enabling or Detering Factors at the Federal, State, and Local Levels

Description	Assists in very broad terms. Established in 1966 under the National Historic Preservation Act, ACHP acts as stewards of national resources when federal actions affect historic properties. ACHP promotes preservation by working with President and Congress regarding national historic preservation policy.	maintain the National Register of Historic Places and administering many historic preservation programs. 10% of the funds allocated to the State goes to Philadelphia because it is certified local government.	Money is given to local governments for the rehabilitation of historic buildings.	Insures mortgages covering the purchase or refinancing and rehabilitation of a home that is at least a year old. A portion of the loan proceeds is used to pay the seller, or, if it is a refinance, to pay off the existing mortgage, and the remaining funds are placed in an escrow account and released as rehabilitation is completed. The cost of the rehabilitation must be at least \$5,000, but the total value of the property must still fall within the FHA mortgage limit for the area. The value of the property is determined by either (1) the value of the property after rehabilitation plus the cost of rehabilitation, or (2) 110% of the appraised value of the property after rehabilitation, whichever is less. There are 33 lenders in Philadelphia.
Enable	Yes	<u>8</u>	Yes	Se>
Benefit	Recognition	MOI BERGIN	Monetary	Monetary
Program	Historic	Preservation Fund	Public Works and Economic Development Initiative	203(k) of National Housing Act
People	John Nau		Don Evans	Mel Marinez
Name/Title	Advisory Council for Historic Preservation (ACHP)	Conservation and Reinvestment Act (CARA)	Department of Commerce; Economic Development	Department of Housing and Urban Development (HUD)/ Federal Housing Administration (FHA)
Level	Federa Federal	redera	Federal	Federal



Federal De Pederal Ni Federal Ni	Department of Transportation 13287 Housing and Urban Development (HUD) National Endowment for the Arts National Environmental Policy Act (NEPA) 1969	Norman Mineta Laura Bush Mel Martinez Barbara Neal	Section 4(f) of the Transportation Act Community Development Block Grant (CDBG) Renewal Communities, Empowerment Zone Challenge America Grants	N/A Monetary Monetary N/A	N/A Yes N/A N/A N/A	Prohibits federal agencies within the Department of Transportation from approving any project requiring the use of an historic site unless: there is no feasible and prudent alternative to the use of such land; and such program includes all possible planning to minimize harmhistoric site from use. This may possibly come into play with improvements to the South Street Bridge. Recognizes historic communities and monuments and especially encourages heritage tourism. Provides monetary assistance to lowand moderate-income persons for the rehabilitation of residential and non-residential buildings. Provides federal grants, tax incentives and governmental partnerships for the rehabilitation of buildings and housing. Provides grants for the restoration of historic structures. Protects historic resources. Section 102(2)(c) requires the filing of an Environmental Impact Statement for "major federal actions" that affect the human environment. and cultural resources. Section 101(b)(4) noted the need to preserve important historic, cultural and natural aspects of our natural heritage.
ΖĀ	National Heritage Areas Grant			Monetary	N/A	This could protect the site in the future. Grants are provided for areas of distinct history and geography.
ΖŐ	National Park Service		Save America's Treasures	Monetary	N/A	An effort to protect the nation's threatened cultural resources including significant historic monuments and sites through grants.



Works with communities across the nation to revitalize their historic or traditional commercial areas. Based in historic preservation, the Main Street approach was developed to save historic commercial architecture and the fabric of American communities' built environment, but it has become a powerful economic development tool as well. The program is already working on South Street and works on a state level with the Pennsylvania Downtown Center	Part of the Community Partner program focuses on preservation-based community development. Targets are areas with sizable landmarks for "Anchor" preservation projects as catalyses for neighborhood reinvestment. They work with mixed-income housing as historic properties promote without displacement. They create cost-sensitive neighborhood design guidelines so as to remain affordable but restore character of historic building. There is debt and equity financing; these projects are eligible for loans and grants. Preservation organizational development and real estate technical assistance are provided.	Provides fee-based tax credit and development consulting services to nonprofit, for-profit and local government developers of historic properties. This is more developmental.	Invests in projects eligible for the federal and state historic rehabilitation tax credit. The fund is unique in that it provides equity to developers of smaller historic tax credit projects that qualify for as little as \$500,000 in historic tax credit equity as well as those that qualify for up to \$5 million.
Yes	\ \ \ \ \	o N	
N/A	Guidelines and Monetary		Monetary
Main Street	Community Partners Network	Heritage Property Services	Bank of America Tax Credit Fund
Richard Moe			
National Trust for Historic Preservation			
Federa			





Calls for a restriction to be removed favoring new construction over reuse of existing school buildings.	Builds on Main Street Programs by providing \$5 million to improve residential communities that are located next to commercial corridors. Funding is used to upgrade physical infrastructure (streetscapes, sidewalks, lighting and housing facades).	Makes \$5 million available to encourage the revitalization of key commercial corridors in communities that have experienced a loss of employment and businesses.	Makes assistance available to low- and moderate-income persons to purchase a home. The assistance varies from place to place, but can be in the form of down payment assistance, closing cost assistance, or a combination of the two. Some places have designated units for sale for first-time homebuyers. Most assistance comes with special training in how to save for and purchase a home.	Provides assistance to low- and moderate-income homeowners to repair their homes in compliance with the new statewide building code. Financial assistance can be in the form of grants or low-interest loans.	A 5 year program to help a community downtown economic development through the establishment.
Yes	Yes	Yes	\ \ \	Yes	Possibly
Recognition	Monetary	Monetary	Monetary	Monetary	Monetary
1999 policy			Homebuyer Assistance	Housing Rehabilitation	Main Street Program
Vicki L. Phillips			Dennis Yablonsky	Dennis Yablonsky	Dennis Yablonsky
Department of Education	Elm Street Program (pending)	Expanded Main Street Program	Department of Community and Economic Development (DCED)	Department of Community and Economic Development (DCED)	Department of Community and Economic Development (DCED)
State	State	State	State	State	State



Provides assistance to low-income households to reduce their energy bills through low-cost repairs to homes designed to reduce heating and cooling costs. A winter heating crisis service that provides heating system repairs is also available through this program.	Communities can borrow funds for projects that will develop blighted areas and repay those borrowed monies from the new tax revenues that will result from the development.	Provides local groups with techniques and strategies needed to recapture or sustain their downtown.	The plan is to (1) Education, (2) Get the preservation message out, (3) Reach out to elected officials and key professionals (provide educational materials and technical assistance workshops regarding current laws and regulations related to preservation and tools and incentives).	Provides up to \$15,000 in home improvements in owner occupied residential buildings and well as low-interest loans for improvements of new homes (including repairs, alterations, modifications to improve livability, accessibility, energy efficiency or safety).	Seeks a more effective framework for consistent planning and zoning throughout the state and its jurisdictions; Develops a statewide strategy to educate elected and appointed officials and organizational leadership on land use, resource and heritage issue.
Yes	Yes	Yes	\ \ \	Yes	Possibly
Repairs	Monetary		Educate	Monetary	Educate
Weatherization Assistance Program	Tax Increment Financing (TIF)	Main Street Program/ PA Downtown Center (also an	Pennsylvania Historic Preservation Plan	Purchasing- Improvement Program	Philadelphia Intervention Fund
Dennis Yablonsky		John C. Wesley	John C. Wesley and Susan K. Shearer		Susan K. Shearer
Department of Community and Economic Development (DCED)	Pennsylvania Economic Development Financing Agency	Pennsylvania Historical and Museum Commission	Pennsylvania Historical and Museum Commission (PHMC) and Preservation Pennsylvania	Pennsylvania Housing Finance Agency	Preservation Pennsylvania
State	State	State	State	State	State



State	Property Tax Relief		Monetary	Yes	Offers homeowners an average property
	(pending)				tax reduction of 30%. The average tax
					school district, and in communities with
					high concentrations of limited and low-
					income residents the minimum average
State	Remode		Monetary	Yes	Provides funding for local government
	Pennsylvania			1	redevelopment authorities, businesses
	(pending)				via local government and nonprofits
				•	for site acquisition, construction,
					infrastructure improvements including
					paving and upgrading of water and sewer
State	Residential Tax		Monetary	Yes	A 20% state income tax credit will be
	Credits (pending)				made available to individuals who
					purchase and restore older properties;
					There will be a waiver of the state
					sales tax for owner occupants of the
					cost of materials and services used in
					restoration; There will be an exemption
					from the state share of the realty transfer
					taxes for owners of historic residences
					who sell to someone who agrees to
					restore it and live in it for 5 years. These
					credits will be only for designated
			2000	765	properties.
State	Schuyikiii Kiver	Schuyikili River	Kecognillon	res	Looks towards resource conservation/
	Greenway	National and State			ennancement strategies, to preserve
	Association (SRGA)	neiliage Alea			resources presente and restore the
					river's environmental resoluces support
					sustainable land use, open space, and
					greenway planning and preservation
					related to the river. The Heritage Area
					extends to the Delaware River.
State	State Act 205:		Monetary	No	Provides for an exemption of real
	Philadelphia City				estate taxes on 100% of a developer's
	Board of Revision				improvement to a residential property.
	on Taxes				This is more developmental.



Seeks a more effective framework for consistent planning and zoning throughout the state and its jurisdictions. Among things that they do are: develop a statewide strategy to educate elected and appointed officials and organizational leadership on land use, resource and heritage issues; work for property tax and legislative reforms to encourage intergovernmental planning, investment in existing communities, and stewardship of resources; encourage adoption of incentives beyond tax policy to encourage commitment to regional and intergovernmental planning and sustainable development; encourage the state government to become a more active partner in long-term stewardship issues.	Provides free power washing or paint for Graffiti Removal and administers Mural Arts Program.	An advertising campaign "to promote urban living in 6 middle-income neighborhoods in Philadelphia." (SW Center City: River-Broad, South-Washington)	NTI allocated \$1.2 million and Shyamalan gave \$1.5 million for the program in which the city condemns properties and sells them to the CDC for renovation. They will be sold at low-income and market rates. Phase I = 31 properties. Phase II = 26 properties.
sə	Yes	o Z	S S
Advocacy	Free Supplies		Renovation and Sale
	Graffiti Removal; Mural Arts	Philadelphia Neighborhood Marketing Program	Greater St. Matthew Community Revitalization Project
The Honorable K. Leroy Irvis and Thomas B. Hagen			
10,000 Friends of Pennsylvania	Anti Graffiti Program	Central Philadelphia Development Corporation	Greater St. Matthew Community Development Corp., NTI, M. Night Shyamalan, Eastern Pennsylvania Organizing Project (EPOP)
State	City	Local	Local



Reviews building permits and enforces code and zoning, but turns over permits applications for listed buildings to Historic Commission for approval; Carries out city funded demolition and clean and seal operations.	This calls for free adaptations to be made to the house or apartment of a low-income disabled individual.	Free emergency repairs to electric, plumbing, and/or heating systems of an owner-occupied property.	This is the donation of tax-delinquent properties to the city.	Free minor heater repairs for homeowners and renters.	Through this, vacant city-owned properties are made available to applicants who can complete required repairs.	Through this, vacant city-owned houses are rehabilitated and sold at belowmarket process to qualified first-time homebuvers.	Block-level teams are established and meet 7 times over 4 months. They use a workbook (provided by program) to learn about health and safety, beautification and greening, energy efficiency, resource sharing, and neighborhood building.
o N		Yes		Yes	Yes	Yes	Yes
Regulation of Alterations, Blight Removal		Repairs		Repairs		Renovation and Sale	Educate
Building Permits, Clean and Seal, Demolition, Eminent Domain	Adaptive Modifications*	Basic Systems Repair Program*	Donor/Taker	Emergency Heater Hotline*	Gift Property	Homestart*	Livable Neighborhood Program
Licenses and Inspections	Neighborhood Transformation Initiative (NTI)	Neighborhood Transformation Initiative (NTI)	Neighborhood Transformation Initiative (NTI)	Neighborhood Transformation Initiative (NTI)	Neighborhood Transformation Initiative (NTI)	Neighborhood Transformation Initiative (NTI)	Neighborhood Transformation Initiative (NTI)
Local	Local	Local	Local	Local	Local	Local	Local



This is a partnership between the PRA, NTI, PNC Bank, Citizens Bank, First Union and Fleet to give homeowners living in single-family, owner-occupied properties with up to 4 residential units 3-5% loans, up to \$25,000 for up to 20 years with no equity or appraisals necessary.	The grant provides up to \$800 to first- time homebuyers who complete pre- purchasing counseling.	Free minor repairs to homes of elderly Philadelphians.	This is the sale of tax-delinquent properties at public auctions.	Stabilize and improve selected neighborhoods that are at risk of becoming blighted or visibly deteriorated. Our site is one of 10 neighborhoods in this program. Largely these neighborhoods are owner-occupied. Low-interest loans matched with an NTI grant for major systems repairs (plumbing, heating, electric, and roofing), exterior façade improvements, painting, and sidewalk and step replacement. Up to \$12,500 in grant funds or \$15,000 is available.	Free weatherization and energy- efficiency improvements to owner- occupied or rental units.
Yes	Yes	Yes		\ \ \	Yes
Monetary	Monetary	Repairs		Monetary	Improvements
PHIL (Philadelphia Home Improvement Loan) Program	Settlement Grant Program*	SHARP	Sheriff Sales	Targeted Basic Systems Repair Program (TBSRP)	Weatherization*
Herbert E. Wetzel/Executive Director				SOSNA	
NTI/Philadelphia Redevelopment Authority (PRA)	Neighborhood Transformation Initiative (NTI)	Neighborhood Transformation Initiative (NTI)	Neighborhood Transformation Initiative (NTI)	Neighborhood Transformation Initiative (NTI)	Neighborhood Transformation Initiative (NTI)
Local	Local	Local	Local	Local	Local



Buildings are eligible for tax credits if on local register; individually listed buildings must follow Secretary of the Interior's Standards for any alterations (the Historic Commission is given building permits for approval by Licenses and Inspections). There are no district design guidelines because no districts exist.	Housing Choice allows low income residents to live outside of public housing through voucher program (wait list is full). This is HUD funded, the biggest landlord in PA, since 1998 they have converted 965 units.	"Utilizes its powers of eminent domain (condemnation) to facilitate the reuse of vacant, tax-delinquent and blighted property throughout the City" (quoted from website).	
Yes (only individually listed properties)	Yes and No (because list is full and they may not care for buildings)	Yes, takes vacant properties to redevelop; No, b/c can demolish them	
Design Guidelines and Monetary	Low Income Housing	Low Income Housing	
Ordinance 14-2007	Housing Choice (Section 8)	Eminent Domain	
Philadelphia Historic Commission	Philadelphia Housing Authority	Redevelopment Authority	Income guidelines apply.
Local	Local	Local	



Schuylkill-Southwest Neighborhood Zoning Map





Street-by-Street Assessment of Public Spaces

	Couth Choop	Christian Street	Gray's Ferry Avenue	Schuvlkill Avenue	Kater	Demherton	Wehster
Description		Mostly residential, some commercial activities, main vehicular and pedestrian traffic	Major Thorough Fare, Ligh Pedestrian	Industrial thoroughfare mostly large trucks:	Primarily pedestrian, very light vehicular traffic	Primarily pedestrian, very light vehicular traflic	Primarily pedestrian, very light
Street Profile*	3+w+2L	3/4 + b + w + 2L	3+b+w+2L	4/7 + ww + 2L	2+n+1L	2+n+1L	2+n+1L
Material	Conc pavement, bitumen road	Conc pavement, bitumen road	Conc Pavement, bitumen Road	Concrete and brick pavement and bitumen road	Conc pavement, bitumen road	Conc pavement, bitumen road	Conc pavement, bitumen road
Street	Neglected side walk with vegetation growth, uneven road surface. Relatively dirty. Messy road repair at 2200 block	Uneven sidewalk surface, dumping of large furniture and building material on sidewalk, usually happens at blocks with more vacant lots. Blocks with churches are in better condition.	Uneven sidewalks, some trash. Many abandoned buildings, some vacant lots	Uneven sidewalks. Generally crowded with cars or taken over by weeds and shrubbery. Parking garage for new devpt intrudes onto public	Good condition. Sidewalk is uneven and has been repaired with different concrete formulations.	Good condition. Sidewalk is uneven and has been repaired with different concrete formulations.	Good condition. Sidewalk has been repaired with different concrete formulations.
Traffic	Busy 1 way vehicular and pedestrian traffic.	Busy 2 way traffic and moderate pedestrian volume.	Busy - very busy	Busy - mostly heavy weight and for employees	Very light traffic, one lane for parking	Very light traffic, one lane for parking	Very light traffic, one lane for parking
Trees	Densely planted and bigger trees along 2000-2100, 2300. Moderate and varied sizes along 2400. Sparse and small along the rest.	Sparse or no trees towards industrial area, neatly planted tress along 2000 block.	Sparce trees only on one side, other side has Naval Home Potter plants near stoops	No trees in general - but overgrowing jungle from Naval House and near South Street Bridge. Some planted trees along new development	Densely planted older trees which form shade cover over street.	Densely planted older trees which form shade cover over street.	No trees.
St. Lights	Lights installed at regular interval, bright at night.	Less light compare to South. St lights are tall, scale for vehicular but not for pedestrian.	Tall Lights installed at intervals mosty for vehicular signage	Tall lights spaced out			1



	26th Street	St Albans	Madison Square	2600 Catharine	Catharine Street	Fitzwater Street	Bainbridge Street
Description	Primarily pedestrian, very light vehicular traffic	Entirely Pedestrian	Entirely Pedestrian	Primarily pedestrian, very light vehicular traffic	Primarily pedestrian, light vehicular	Primarily pedestrian, light vehicular	Primarily pedestrian, light vehicular
Ctreet Profile*	2+h+n+1	2+b+w+0I	2+b+w+0L	2+b+n+1L	2/3+b+w+2L	2/3+b+w+2L	2/3+s+w+2L (2200 block), 2/3+b+w+2L
Material	Conc pavement, bitumen road	Brick Paving	Brick Paving	Asphalt street, Cement sidewalks	Conc pavement, some lots with brick sidewalks, bitumen road	Conc pavement, bitumen road, some lots with brick sidewalks (herringbone design).	Conc pavement, 2200 block with brick sidewalks (herringbone) and granite curbs, bitumen road
Street	Regular sidewalk, clean	Brick sidewalks in excellent condition. Central garden and enclosure fence well kept. Trash bags placed intermittently by residents	Brick Sidewalks in poor condition. Central garden overgrown with weeds and iron fence missing sections and held together with wire	Sidewalks in good condition. Many vacant lots on block	Good condition. Sidewalk in poor condition near Grays Ferry intersection; 2300 block in excellent condition:neighbors sweep street and sidewalk.	Good condition. Sidewalk is uneven and slopes with some patches of vegetation growth	Good condition. Islands at Grays Ferry and 23rd St. intersections are neglected and overgrown
eT Office	Very light. 1L	light pedestrian traffic but no real interaction between people. Bicycles riding through.	Light pedestrian traffic	Extremely light. barely one lane. mostly parking	Fairly busy 1 way vehicular and pedestrian traffic.	Fairly busy 1- way vehicular traffic. Pedestrian traffic is heavier near Greater St. Mathew's Baptist Church.	Busy 1 way vehicular and pedestrian traffic east of 23rd St., slower to the west
seal	Regularly planted on West side of street, more dense near south st. end	Many trees in the common garden space	Many trees in common garden	two large trees in vacant lots one small tree on sidewalk	Combination of older trees and saplings disperced throughout blocks. 2300 block has most regular trees and potted plants/ flowers.	Combination of older trees and saplings dispersed throughout plocks.	older trees on 2200 block. Combination of older trees and sapings 2000-2100. Sparse or no trees west of 23rd St. intersection. Potted plants on sidewalk and stoop.
Street Lights	A few tall lights	Lighting regular on south side of the street. No lights on the north side	Few street lights	5 street lights	Lights installed at regular intervals. Stop signs at set of st. lights at 22nd intersection.	regular intervals Combination of st. lights and stop signs at intersections.	cigins instance at regular intervals. Combination of st. lights and stop signs at intersections.



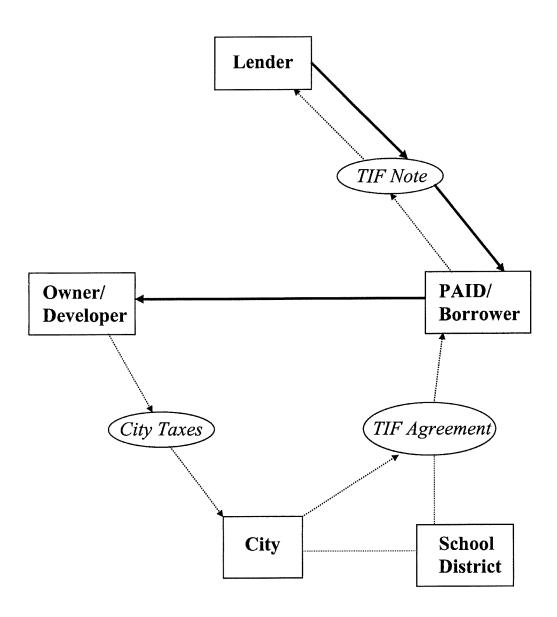
	South Street	Christian Street	Grav's Ferry Avenue	Schuylkill Avenue	Kater	Pemberton	Webster
Ondring	Parking on S. side along 2300-2700, parking on both side from 2000-2100.	No parking lots. Parking on holfs side	1 lane parking opposite naval home. Parking lot at intersection of GFA and Bainbridge.	Many private parking lots. 1 parking lane on street and many cars narked on sidewalk	One lane of parking	One lane of parking	Parking on (north side) sidewalk at 2000 block.
Community green	Odunde Sq. at Grays Ferry and South. Neglected and undensed.		None (aithough private gardens at corner of block)	None	no open green space; in front of homes, window boxes and trees made up green space.	no open green space; in front of homes, potted plants and trees made up green space	2100 block open lots are abandoned and filled with overgrowth
pus-stons	Bus-stands every 2 blocks (R40), sheltered bus-stop at Gravs Ferry lunction.	None	Requiar bus stops along GFA.	None	none	none	none
Misc. Furniture	Concentration of newspaper stand, mailbox, garbage can, public phone booth along 2200-2300.	None	Some benches along the way but seem miniature for people to sit on.	None	none	none	лопе
Recommended	Wide sidewalk, existing trees along 2000-2100, 2300-2400. Odunde Sq., store-front design, sheltered bus-stop, planter box and trees in front of parking lots, responsive design to allowance.	Stoops, frees on 2000 block, neat and responsive façade, bbq		Improve quality of pedestrian space. Need more signal lights for safety especially on Christian and Schuylkill. More lights and inforce parking rules. Naval home needs to shape un landscape.	Consistent stoops, trees for intimate feel/privacy, initiative to keep things clean	Care should be taken at 2300 block to improve sidewalks, plant trees and give a form of continuity to public pedestrian snace.	Should add trees for privacy and to reduce scale on 2000 block. The 2100 block has a lot of open lots which could be developed into public space or house new development.
Features not	Uneven road surface, messy road repair, gated community development, messy display of newspaper stand and garbage can. No trees especially in front of parking lots, and fenced community.	Uneven sidewalk surface, dumping of large furniture and building material on sidewalk varcant lots					At 2000 block, effort could be taken to replicate more "private" feeling on Pemberton and Kater. Cars should not park on sidewalk. Use of street almost as a wide allewway.
Wisc comment	Gated community at 2000 block seriously after streetscape and eradicate use of shons.	Street are in better condition on blocks with churches, worse on blocks with more vacant lots.			Many trees have grown too large for sidewalk and are breaking up concrete.	The small 2300 block appears disconnected/ neglected from rest of Pemberton.	Although the physical structure is that of a normal street, it has been converted into nearly a back alleyway.



	26th Street	St Albans	Madison Square	2600 Catharine	Catharine Street	Fitzwater Street	Bainbridge Street
Ondring	Parking lane on east	No parking. All parking on side create	one vacant lot at north west corner used for parking, all other	north side of street used	Parking on both sides of the street. Fenced parking lot at 21st intersection - public school	Parking on both sides of street. Parking on sidewalk in front of Greater St. Mathew's	Parking on both sides of street. Gated parking lot at Grays Ferry, 23rd and Bainbridge intersection.
Community oreen states	and None	Center garden	Center garden	One community garden at north west end of street. Located in a series of vacant lots, overgrown and not used	New garden on 2200 block, neighborhood park at N-W comer Large, fenced garden S-E corner Smaller garden at N-W corner with mural. Public space with little landscaping assooc, with Chester A. Arthur public school.	Fitwater Garden Association on 2000 block. Fenced and locked, only open to those on block.	Gardens of 2200 block (raised from street level).
bus-stops	None	none	none	Regular bus stops along GFA	Bus stops (#17, 7) at 22nd and 20th junctions.	none	попе
Misc Furniture	None	14 Benches	a couple of benches	none	Iron bench placed in front of house on 2300 block, furniture in community gardens.	Some porch furniture placed next to/on stoop steps.	Some porch furniture in gardens of 2200 block, with barbecues. Some porch chairs on porch/sloop steps.
Recommended	Stoops and narrow sidewalk, intimate setting with trees. Neat facades and decorated windows. Planter boxes.	The stoop size (3 steps) planter boxes and potted plants outside homes. Benches,	Stoop size	inimate feel of small scale houses and small street and sidewalks, window	Feeling of block solidarity with community gardens. Initiative to keep 2300 block clean plus maintain plants/flowers.	Consistent stoops foster social interaction among neighbors. Feeling of block solidarity with community garden.	Front gardens of 2200 block allow for social interaction and creative outlet - nice mix of public and private. Generally well-maintained gardens with potted plants along street, initiative to keep clean.
Features not recommended		Trash cans	a regular maintenance program and community organized effort to restore the common garden and surrounding fence, Trashcans and benches		Sidwalks not always in best condition. Abandoned lot at Grays Ferry intersection in poor condition. Streets not always dean.	Recommend clean up abandoned, overgrown lots on 2100-2000 blocks. General street and sidewalk cleaning and repair.	Sidewalks not well maintained on south side of street beside Naval Home wall. Parking lot at 22nd St. intersection with abandoned gas station changes and station and sone street.
Misc. comment		Very private feel atthough it is a public space. People interact with their neighbors	Very private feel although it is a public space. People interact with their neighbors on either side but the center garden separates the street.	There are a number of vacant lots on this block and ajacent block. Empty space is not utilized by the community. Kids play in the street, not in the open expanses of emptiness.	Mix of community involvement and pride with abandoned lots and rowhouses in poor condition. All community gardens are locked, even city one at 22nd intersection.	Stoops used by people of all ages for socializing. Children trying to play in trees. Fairly good signage.	the Road" sign for bikes. Town watch neighborhood and "Drug Free" sign. 2 public phones (one at 23rd and one at 20th intersection)



Document/Funding Structure "Debt Model"



- → TIF Note Proceeds
- Repayment from Incremental Taxes

Philadelphia Industrial Development Corporation, 2003.

Appendix C.1



SUMMARY SCHEDULE OF "TIF-ABLE" TAXES

The following is for general informational purposes only. Applicants must consult their accountant and/or the City of Philadelphia with regard to any tax calculations.

Real Estate Tax

The Real Estate Tax rate is calculated by multiplying the rate listed below by the assessed value of land and improvements within the subject parcel (assessed value is calculated by taking 32% of the market value).

School	4.790%
City	<u>3.474%</u>
Total*	8.264%

^{*} Taxpayer receives a 1% discount for payments made before March 1st.

Use & Occupancy Tax

The Use & Occupancy Tax is calculated by multiplying the rate listed below by the assessed value of land and improvements within the subject parcel and the project's occupancy rate (assessed value is calculated by taking 32% of the market value).

City	0.000%
School	<u>4.620%</u>
Total	4.620%

City Sales Tax

The City Sales Tax is calculated by multiplying gross taxable sales by 1%. The total sales tax is 7% of which the Commonwealth remits 1% to the City.

Business Privilege Tax

The Business Privilege Tax is calculated by multiplying the rates listed below by gross and net revenues of the project, as applicable.





PIDC SUMMARY SCHEDULE OF NON-"TIF-ABLE" TAXES

Amusement Tax

The Amusement Tax is imposed on the admission fee charged for attending any amusement in Philadelphia. Included are concerts, movies, athletic contests nightclubs, and convention shows for which admission is charged. The current tax rate is 5% of the admission charge.

<u>Liquor Sales Tax</u>

The Liquor Sales Tax is applied to every sale at retail of wine, liquor or malt and brewed beverages by any hotel, restaurant, club, or other person holding a license or permit issued by the Commonwealth to sell or dispense liquor, wine or malt and brewed beverages. This tax is a School District tax that is imposed upon each taxable sale at retail with the School District of Philadelphia at a rate of 10% of the sale price.

Parking Tax

The Parking Tax is levied on the gross receipts from all financial transactions involving the parking or storing of automobiles or other vehicles in indoor or outdoor parking lots and garages located in the City of Philadelphia. This tax is levied at a rate of 15% of the amount charged for the parking transaction.

Wage Tax/Earnings Tax

The Wage Tax/Earnings Tax is a tax on salaries, wages, commissions and other compensation paid to an employee who is employed by or renders services to an employer in Philadelphia. It is applicable to all Philadelphia residents and to non-residents who perform services in Philadelphia. Tax rates for residents and non-residents are reflected below.



Sources: City Five Year Plan, FY99 - FY03; Philadelphia Plain Talk Tax Guide, rev 6/98

Philadelphia Industrial Development Corporation, 2003.



APPLICATION PACKAGE

	completing PIDC's "Application for Assistance," those requesting funding under the at Financing (TIF) Program must provide the following materials:
1	"But-For" Certification: Developer must provide written and documented certification that the project could not proceed "but-for" the TIF funding, including evidence from the Lender that they are unable to approve additional funding.
2	"Before & After" Schematic Footprints: Provide an 8.5 x 11 schematic footprint of the TIF District which outlines the proposed TIF District boundaries and existing uses within the site. Also provide an identical schematic footprint which illustrates the TIF District boundaries and the <u>proposed</u> uses.
3	Tax Projections: Provide current and 20-year projections of the following city taxes as relevant: • real estate; • use and occupancy; • city sales; • wage; • "liquor-by-the-drink"; • parking; and, • business privilege taxes.
Also provide	existing and projected employment on a full-time equivalent basis together with the firm's overall existing and projected average salaries.
4	
5	
	Opportunity Plan: Provide an Economic Opportunity Plan for the project, using the ample as a guide.

To apply, please submit an Application Package with deposit of \$25,000 to:

Philadelphia Industrial Development Corporation

1500 Market Street

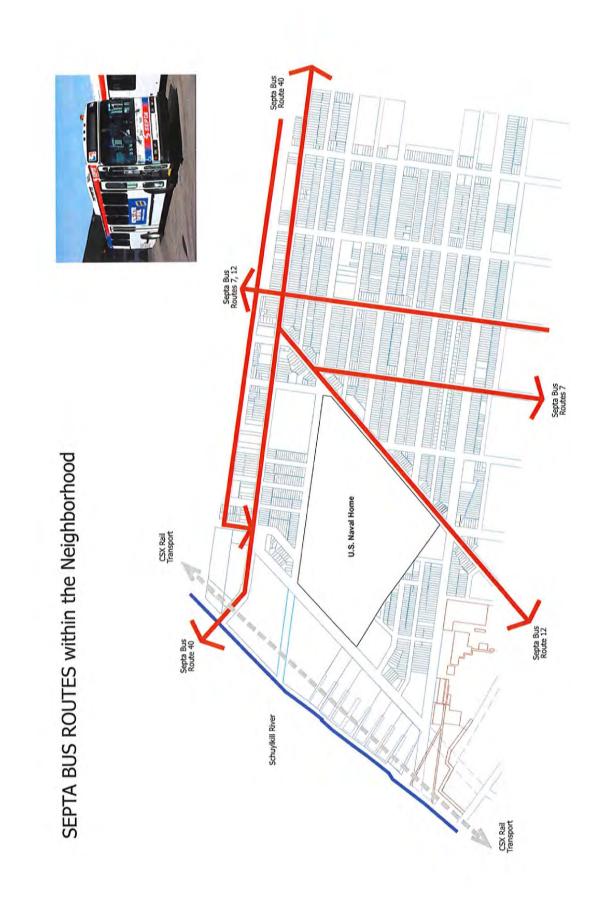
2600 Centre Square West

Philadelphia, PA 19102-2126

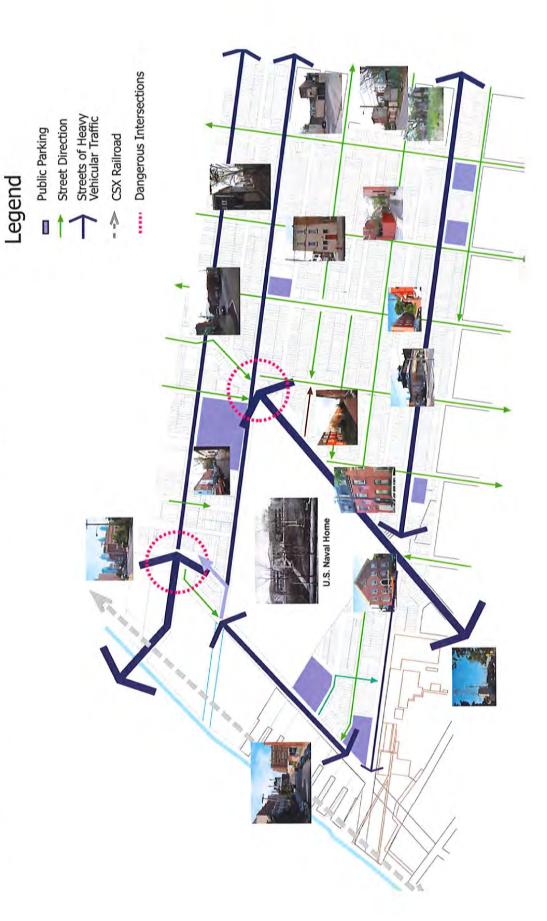


		Δ.	PHILADELPHIA APPROVED 11F DISTRICTS - Project Plan Summary	ISINICIS-F	roject Fian Su	mmary			
ON III	Amending Bill No	TIE Name	Project Description	authorized TIF amount	total project costs	oject costs passage date	TIF effective date	TIF term (years)	Status
950590	960 -259 & -626 Bartram Avenue	Bartram Avenue	PNC Bank Operations Center		\$ 72,297,851	12/14/1995	12/28/1995	20	settled & completed
960701	980305	PSFS	Loews Philadelphia Hotel	\$ 16,000,000	\$ 115,000,000	6/19/1997	1/1/1999	20	settled & completed
970120	990114	Philadelphia Naval Business Center	Commercial/industrial park & shipyard	\$ 243,189,873	\$ 970,539,678	6/19/1997	7/1/1997	20	settled & completed (kvaerner)
970239	980304	City Hall Annex	Marriott Courtyard Hotel	\$ 10,000,000	\$ 76,796,181	6/19/1997	1/1/1998	20	settled & completed
970240	980307	Reading Terminal HeadHouse	Marriott Hotel, retail & public space	\$ 12,150,000	\$ 73,307,701	6/19/1997	7/1/1997	20	settled & completed
970580		Franklin Plaza	SmithKline Beecham headquarters	\$ 12,358,258	\$ 79,123,601	12/11/1997	12/31/1997	20	settled & completed
980301		Cecil B. Moore Avenue	Mixed use - retail / office	\$ 1,200,000	\$ 6,354,859	6/18/1998	7/1/1998	20	nedo
980306	990681	Penn's Landing	Retail & entertainment complex	\$ 62,290,000	\$ 174,061,720	6/18/1998	1/1/2000	20	New RFP
980549		Convention Center Garage	Structured parking	\$ 6,600,000	\$ 28,862,930	1/14/1999	7/1/1999	20	settled & completed
980705	000609, 020231	000609, 020231 Jump Street / 1600 North Broad	Retail & entertainment complex	\$ 15,000,000	\$ 58,163,370	1/14/1999	12/31/1999	20	design & tenanting
980719	990253	St. James Court	Residential	\$ 7,000,000	\$ 83,500,000	12/10/1998	7/1/1999	12	terminated
980746		Brewery Park	Retail complex	\$ 4,250,000	\$ 14,975,842	12/10/1998	1/1/2000	20	nedo
980799-a		West Philadelphia Retail	Retail complex	\$ 4,900,000	\$ 28,147,500	1/26/1999	1/1/2000	20	tenanting
980845	990110	Pavilion Market East	Retail & entertainment complex	\$ 25,000,000	\$ 167,495,935	1/14/1999	7/1/1999	20	open
990249		Whitaker	Industrial / remanufacturing	\$ 8,000,000	\$ 55,331,020	6/17/1999	7/1/1999	20	open
990291		Ashton	Industrial / remanufacturing	\$ 4,000,000	\$ 49,193,190	6/24/1999	7/1/1999	20	open
990680		New Market	Hotel W	\$ 8,900,000	\$ 63,509,096	12/9/1999	7/1/2000	20	nedo
990683		13th Street Passage	Mixed use - retail / office / residential	\$ 8,000,000	\$ 42,123,000	12/9/1999	7/1/2000	20	settled, under construction
990685		Gateway	Hampton Inn	\$ 5,500,000	\$ 34,205,985	12/9/1999	7/1/2000	20	uedo
000212		West Chestnut Retail	Supermarket	\$ 1,500,000	\$ 10,401,000	6/8/2000	7/1/2000	20	under construction, not settled
000221		Net-Works	Telecommunications, e-commerce	\$ 15,000,000	\$ 69,845,579	6/15/2000	7/1/2000	20	open
000222		Schmidts Plaza / Schmidts Plaza II	Retail complex	\$ 8,000,000	\$ 33,950,000	6/8/2000	7/1/2000	20	open
000223		South Ninth Retail	Discount retail & restaurant	\$ 450,000	\$ 1,523,847	6/8/2000	7/1/2000	20	open
000260		Silver City	TV & music studios, e-commerce	\$ 9,000,000	\$ 70,190,524	6/22/2000	12/31/2000	20	open
000610		Avenue of the Arts Garage	Structured parking	\$ 6,250,000	\$ 31,390,000	12/14/2000	1/1/2001	20	settled & completed
030222		Progress Plaza	Retail complex	\$ 6,500,000	\$ 25,500,000	6/12/2003	1/1/2004	20	design & tenanting
			TOTAL	\$ 493,842,035	\$ 2,378,900,409			PIDC, 2003.	73,





MOVEMENT ACCESS & PARKING within the Neighborhood







Current Suggested Designation Nominations for Schuylkill-Southwest Neighborhood

Site	Location	Built	Significance	Current	Suggested	Criteria	Notes
			ı	Designation	Nomination		
Studio Site	explored boundaries	1860 -	architecture social history		CD/NHD	A,C	refer to statement of significance
Inited States	2420 Gravs Ferry	1827	architecture military	NHL (1976)		A,C	designed by
Naval Asvlum	Ave.	i)	social/ humanitarian				William Strickland
							(1788-1854) in
							Greek Revival
							Style for elderly
							naval personnel
Ramcat /	northwest of studio	1832	architecture industry	NHD (1987)		A,C	refer to
Schuylkill Historic	site along the	-1929					significance
District	Schuylkill						in appended
		200	() - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -			C X	nomination form
Grays Road	2501 Christian St	9761	architecture	(1988)) (T Windrim (1866-
Kecreation			education social history	(2001)			1934) for the
Celle							recreational and
							educational use of
							children
William S. Pierce	2400 Christian St	1928	architecture education	NRHP		၁	designed by
School				(1988)			Catherine T. Irwin
							(1884-1944)
							in Late Gothic
					9	k	Revival Style
Church of the	2030-40 Christian St	1870	architecture		T T T T	ر	designed by the
Holy Apostles				(1980)			firm of Fraser,
/St Charles							Furness & Hewitt
Rorromen							(1867-1871) in
							late Gothic Revival
							Style
St. Albans Place	2300 block St.	1871	architecture	PRHP	OHN	B,C	designed by
	Albans St			(1969)			Charles M. S.
							Leslie as a garden
							block
Madison Square	22-2300 blocks St.	1871	architecture	PRHP (1969)		က် သ	designed by
	Alballs of			(222)			I aclia ac a nardan
_	-						

Current Suggested Designation Nominations for Schuylkill-Southwest Neighborhood

	Location	Built	Significance	Current Designation	Suggested Nomination	Criteria	Notes
iter St Mathew ist Church/St ony De Padua	2319-21 Fitzwater St	1892	architecture		PRHP/NRHP	ပ	designed by Frank R. Watson (1859-1940)
idelphia Electric	2600 Christian St.	c.1902	architecture		PRHP/NRHP	ပ	designed by John T. Windrim (1866-1934)
ster A. Arthur ool	2000 Catharine St.	1889	architecture		PRHP/NRHP	ပ	designed by Joseph W Anshutz (1882-1901)
. Center	734 Schuylkill Avenue	c.1940	architecture		PRHP/NRHP	v	although it does not convey the significance of the neigborhood a case can be made that contributes to WWII an post-WWII Philadelphis history

to Abbreviations

National Register Criteria

	ſ	Г						
associated with events that have made a siginificant contrubution to the broad patterns of our history.	associated with lives of persons significant in our past.	embody the distinctive characteristics	of a type, period, or method of	construction, or that represent the	work of a master, or that possess	high artistic values or that represent	a siginificant and distinguishable	Joel year transportation and way that
⋖	മ	ပ						



Street Section - 1/8 in. = 1 ft. - 0 in. (Dimensions are approximate)

















A - Trees Within Paved Walk

Location:

-Fitzwater & 20th Streets

Observations:

-Many of the houses show good architectural detailing that cou be highlighted through trim pa

-Houses are generally in fair condition, although several ne new porches or stoops, and moneed to be painted. Three need roof repairs, and one shows sig of wood rot at the eaves.

-Most roofs are in fair condition v

15-25 year asphalt roofs.
-Wood cornices and porches nee periodic upkeep.

-Lack of vehicular parking.
-Weeds, sidewalk and curb cracki deteriorating concrete entrance stoops and stairs.
-Lack of streetlights.

Recommendations:

-Focus should be on facade and st paving improvements.

-Street trees as possible within the sidewalk zone. Plant in structure soil and detail with metal edge s and gravel mulch.

-Narrow planting beds for vines small shrubs could be added arou stoops.

-New siding, repointing, or stuct on houses as required

-New porches, stoops as require -Paint, especially trim, as require -New asphalt pavement should t permeable and repaved often, fill holes as needed.

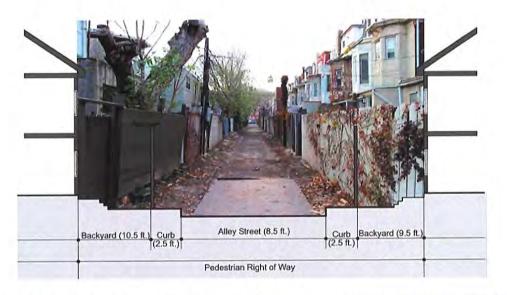
-Bury the overhead electrical por lines to run underground.

-Replace roofs as needed.

-Install new granite sidewalk cui

-Tear out the concrete sidewalks repalce with herringbone patter bricks.

-Brick naved crosswalks



Street Section - 1/8 in. = 1 ft. - 0 in.(Dimensions are approximate)













B - Historic Garden Alleys

Location:

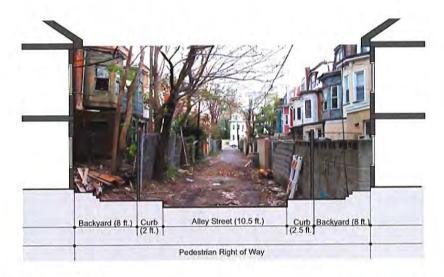
-St. Albanís & 23rd Streets

Observations:

- -The architectural characteri the original design are still The backs of the buildings numerous rehabilitation or
- Myraid of different fence ty though there seems to be one height standard.
 Some of the newer construction
- Some of the newer construction encroaches the house towal fence, newer bay windows planters, 2nd story sun por
- The alleys are large enough small garbage truck or sno

Recommendations:

- -Focus should be on general clean-up efforts, streetscap beautification, and improve and security for residents.
- Regulate fence types and de design uniformity.
- -All trash should be kept at a curb for pick-up by City gatrucks. There are special all trucks which will fit down narrow street always.
- Plant new trees and shruber increased resident privacy.
- -Install all new streetlamps.
- Rebuild destroyed back lots all extant building rubble.
- -Overhead power lines shou buried on the frontage stree allowed along the alleywa
- -Repave the alleys using eith



Street Section - 1/8 in. = 1 ft. - 0 in. (Dimensions are approximate)













C - Traditional Row Alleys

Location:

-Pemberton & 21st Streets

Observations:

- -Alleys are littered with household garbage and building rubble.
- -There are at least five houses in nec of structural rehabilitation.
- -The alleys are large enough for a small garbage truck or snow-plor-All different types of fencing, mo approximately 8i tall. There are CMU block, metal, plastic, and poured concrete fences.
- -Alley is paved asphalt now covera with dirt and rubble.
- -The predominant building architectural features are the larg bay windows and masard roofs.

Recommendations:

- -Focus should be on general alley clean-up efforts, streetscape beautification, and improved safe and security for residents.
- -Regulate fence types and demand
- design uniformity.

 -All trash should be kept at the bac curb for pick-up by City garbage trucks. There are special alley-size trucks which will fit down the
- narrow street always.
 -Plant new trees and shrubery for increased resident privacy.
- -Install all new streetlamps for enhanced neighborhood watch.
- -Rebuild destroyed back lots, clear all extant building rubble.
- -Repave the alleys using either a ballast stone type, brick, or oyste shells. Install new granite, brick stone curbs.

FOR THE SCHYULKILL-SOUTHWEST NEIGHBORHOOD VACANT LOT DISTRIBUTION MAP

vacant lots **Legend**





Building Typologies Map



Legend

Type 1: 2 story, 2 bay, flat roof

Type 2: 2 story, bay window, mansard roof

Type 3: 2 story, 3 bay, flat roof

Type 4: 2 story, 2 bay, parapet wall

New construction Nonconformities Type 5: 3 story, 2 bay, gable roof Type 6: 3 story, 2 bay, flat roof

Type 7: 3 story, 2 bay, mansard roof

Type 8: 3 story, bay window, flat roof

Nonresidential



Code	type1A	type1B
Address	22 nd St 718	Catherine St 2005-07
locations	22 nd St 7XX; 27 th St 6XX; Bainbridge; Taney	21st St; 26th St; Bainbridge; Bambrey; Kater; Madison 24XX; Pemberton 20XX,22XX; St Albans 22XX,23XX; Webster 20XX
a.Story(height)	2	2
b.Bay (width)	2	2
c.Material (Ext.wall)	Brick	Brick
d.Roof Form	Flat	Flat
e.Cornice orParapet	Cornice	Cornice
f.Windows	Rectangular or arch	Rectangular or arch
g.Doors	Rectangular or arch	Rectangular or arch

epoo	Type2A	Type2B
Address	Bainbridge 2203	Bainbridge 2201
locations	22nd St 7XX; Bainbridge 22XX; Catharine 23XX; Christian 24XX;22nd St 74X; 23rd St 74X; Bainbridge22XX; Catharine 23XX; St Albans 22XX	Bainbridge22XX; Catharine 23XX; St Albans 22XX; 22 nd St 74X; 23 rd St 74X;
a.Story(height)	2	2
b.Bay (width)	2	2
c.Material (Ext.wall)	Brick	Brick
d.Roof Form	Mansard/ Dormer	Mansard/ Dormer
e.Cornice orParapet	Cornice	Cornice
f.Windows	bay window in GF or 2 nd floor	bay windows
g.Doors	Arch	Rectangular

epoo	Type3A	
Address	Madison 2308	Christian 2337-39
locations	Madison 22XX-23XX	Christian 232X-234X
a.Story(height)	2	2
b.Bay (width)	3	2/ 1 window in GF
c.Material (Ext.wall)	Brick	Brick
d.Roof Form	Flat	Mansard/ Dormer
e.Cornice orParapet	Cornice	Cornice
f.Windows	Arch	Arch
g.Doors	Arch	Arch

Building Typologies: Types 4 and 5

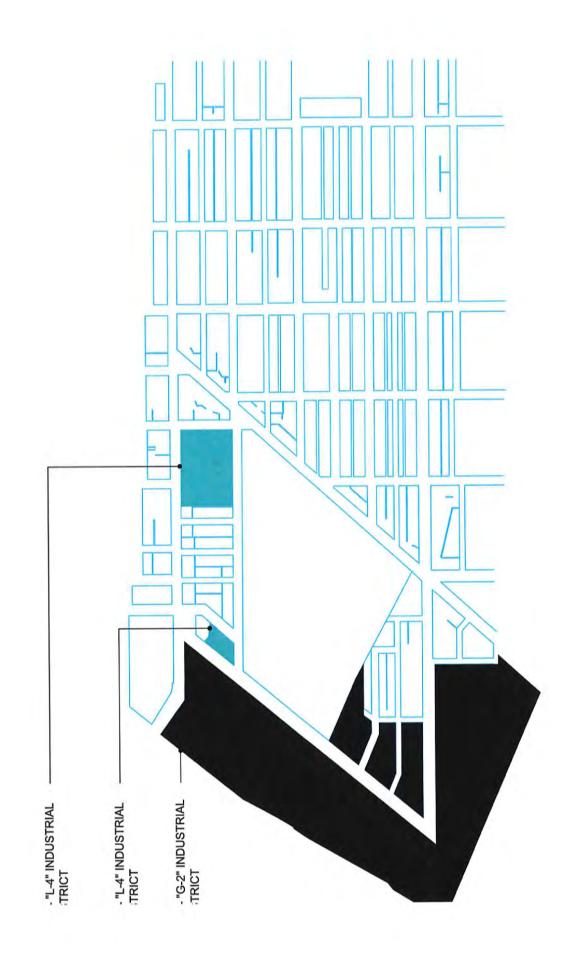
epoo	Type6A	Type6B
Address	South St 2612-14	Bainbridge 2235
locations	South 26XX; Schuylkill 27XX	20 th St 7XX; 23 ^{fd} St 7XX; Bainbridge; Catharine 22XX,23XX; Christian ST; Gray's Ferry; South St 23XX,25XX
a.Story(height)	3	e
b.Bay (width)	2/ 1 window in GF	2/ 2 windows in GF
c.Material (Ext.wall)	Brick	Brick
d.Roof Form	Flat	Flat
e.Cornice orParapet	Cornice	Cornice
f.Windows	Rectangular or arch	Rectangular or arch
g.Doors	Rectangular or arch	Rectangular or arch

Building Typologies: Type 7 and 8

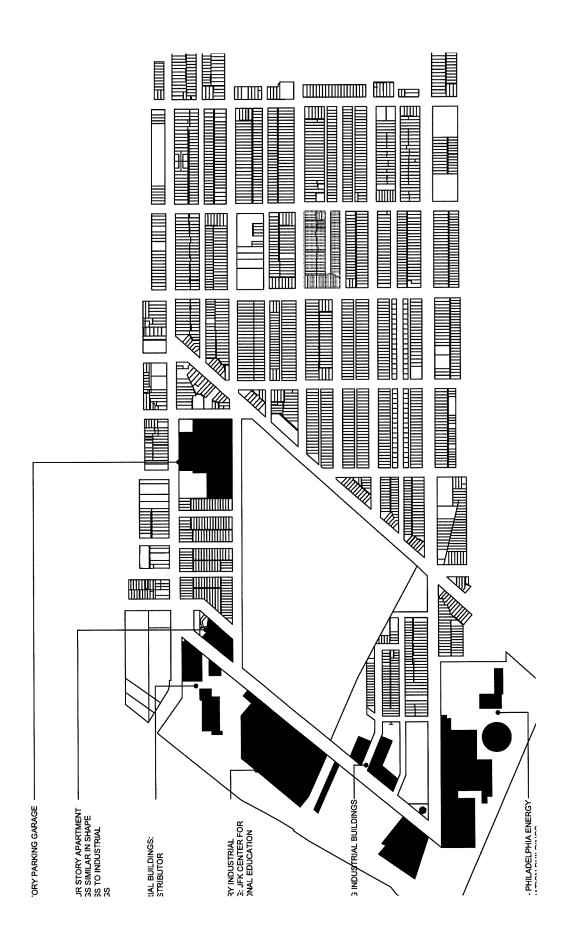
code Address Iocations	type7 St Albans.2349-2351 22nd St 7XX; Fitzwater 22XX; Gray's Ferry 243X-4X; St Albans 23XX	type8 Catherine 2217-2219 Catherine 22XX; Madison
a.Story(height)	3	3
b.Bay (width)	2	2
c.Material (Ext.wall)	Brick	Brick
d.Roof Form	Mansard/ 2 Dormers	Flat
e.Cornice orParapet	Cornice	Cornice
f.Windows	Rectangular or arch	bay windows
g.Doors	Arch	Rectangular

code	Type9
Address	Christian 2239-41
locations	Christian 22XX
a.Story(height)	3
b.Bay (width)	2/ 2 windows in GF
c.Material (Ext.wall)	Brick
d.Roof Form	Flat
e.Cornice orParapet	Cornice
	Bay window in 2 nd floor
f.Windows	
f.Windows g.Doors	Rectangular or arch
0.115.125.25.25.25.25.2	D. R. D. ROYLON, O. L. S. M. S. M. S.

Industrial District Map



Industrial Map



INTRODUCTION

The following design guidelines are developed for the district bounded by South Street to Christian Street from north to south, 20th Street to the Schuylkill River from east to west. This includes a mostly 19th century low-rise residential development, with a relatively smaller industrial district by the river front, and a commercial thoroughfare, i.e. South Street, which is the traditional boundary that separates center city from south Philadelphia.

The main purpose of the guidelines is to provide guidance to property owners, contractors, design professionals and city departments about design based on community policies. It must be understood that the design guides in themselves cannot be legislated as an absolute definition or enforcement of good design but a means to communicate matters of scale, configuration, massing, open space, context, and to some degree, architectural composition and detail. All zoning regulations and ordinances, building codes, and local historic preservation laws supersede all suggested guidelines when the contradiction occurs. By defining appropriate or inappropriate responses to specific design issues, the guidelines aim to encourage preservation and careful treatment of historic resources while recognizing the need to accommodate changes that permit continued use of the properties. They also aim to encourage high quality development that is compatible with the historic character of the neighborhood.







Design Goals:

Based on the statement of significance that the studio group has developed, the following design goals have been identified:

- To protect integrity of district.
- To complement and minimize negative impacts on existing properties from inapproprivate development or alterations.
- To promote and preserve pedestrian-friendly streetscape design.
- To promote and preserve public spaces as interactive social spaces.
- To promote and preserve sense and time of place conveyed by the architecture as a collection.

The fundamental principle of design guidelines is to improve and enhance the character of the historic district, at the same time; they are also a good resource for promoting the knowledge of these historic structures and the preservation process.





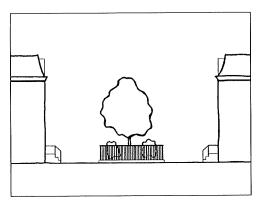
STREETSCAPE GUIDE-LINES

The streetscape is an important aspect of this neighborhood. It allows for the egress of pedestrian and vehicular traffic while assuming the role of public open space for community interaction. The streetscape is defined by the road and its constituents (paving, traffic lines, parking spaces, and utility openings), the curb and gutters, the sidewalk (pavement, lighting, utilities, street furniture, and greenery. Each of these components works to facilitate and frame the built environment by providing safe travel and a pleasing aesthetics. Although much of the public realm is maintained by city services it is the responsibility of individuals, community organizations, and planning officials to realize the significance of these spaces and their relationship to the interior private spaces. These guidelines have been designed with the understanding that there are active groups and individuals within the community. They should be used as reference in decision making processes to:

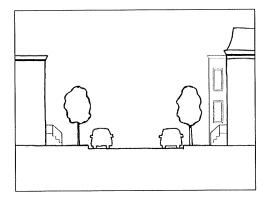
- Describe the types of streetscapes
- Address the supporting elements of each typology.
- Identify the values associated with those streetscapes and supporting elements.
- Recommend improvements and maintenance procedures for streets and their constituents.

These guidelines are applicable to the five major streetscapes found in this area.

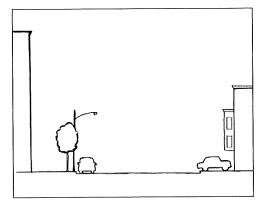
- **Type 1**: Entirely Pedestrian (St. Albans, Madison Sq.)
- Type 2: Primarily Pedestrian/Light Vehicular (Pemberton, Kater)



Type 1



Type 2



Type 4

Type 3: Major Thoroughfares – Light Pedestrian/ High Vehicular (South, Christian, 22nd)

Type 4: Industrial Avenue (Schuylkill)

Type 5: Alleyways

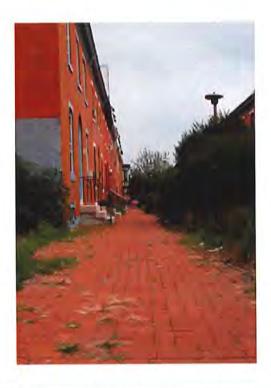
Street Paving:

The choice of paving material and regular maintenance of the vehicular streets is essential for the safety and well being of residents and can add to the aesthetic value of the neighborhood. Streets were historically paved with brick and were subsequently covered with asphalt. Today these streets are all paved with asphalt and appear to be well maintained. Although street paving is a necessary and contributing component of the streetscape as a whole, the choice of materials is not so much important as the consistency and use of the material throughout the entire neighborhood.



Paving Options:

- 1. Brick Although brick paving would be an accurate material historically, it is an expensive and time consuming option. In addition, this paving material reflects an early stage of the neighborhoods development and disregards the evolution of the community and the entire city.
- 2. Asphalt Asphalt paving is an inexpensive paving method that would not require any drastic changes to the City of Philadelphia's current practice. It would be wiser and more practical to continue with asphalt paving. This option is highly recommended, as are high standards of maintenance. All potholes and cracks must be repaired to avoid further damage to the street, automobiles, as well as to remove all hazards to pedestrians.



3. Curbs- All original granite curve blocks shall be retained and replaced in kind.

Sidewalk Paving:

This neighborhood presents a diverse mix of sidewalk paving materials. Brick paving is evident in areas, while most of the sidewalks are various forms of concrete. Sidewalk paving is perhaps one of the most difficult aspects to control, given the necessity to constantly remove sidewalk paving material for utilities repair and upgrade. However, a unified paving formula should be adopted that will ensure the homogeneous character of all sidewalks thought the district. These pedestrian thoroughfares are an important community space and should be recognized as such when making repairs of alterations.

Sidewalk Paving Options:

Brick - As mentioned in the street paving section, it is not appropriate to recommend brick paving for the entire area, however it is recommended that it be used in areas that have high pedestrian traffic (Type 1 & 2).

Cement - A cement formula with specific aggregate types and ratios should be adopted by the City of Philadelphia and distributed to all contractors carrying out street work as well as residents carrying out private work. This local district formula will ensure the maintenance of homogeneous paving for sidewalks in the district through time, and eventually present a complete scheme for the entire district as previous alterations are discarded for utilities work and the new formula is poured in its place.







Lighting:

The purpose of street lighting is to maintain a sense of safety and to aid in the mobility of residents and visitors to the district during evening hours. One of the major issues raised by residents was the lack of proper lighting throughout the neighborhood. Conventional street lights are currently dispersed throughout the area, however they do not always offer enough light to maintain the safety and comfort level require for the neighborhood. In addition these lights are set at three or four per block at random distances of separation. In choosing the appropriate lighting for the street type it is important to keep in mind that too much light can similarly affect the streetscape.

Pedestrian Scaled Lighting:

The pedestrian level lighting on South Streets, for instance, consist of decorative human scale lighting poles, which enhance the historic character of the area. This lighting should be considered for narrow streetscapes that receive high pedestrian traffic (Types 1, 2, & 5). Lamp height and brightness, in association with regular placement can drastically improve the streetscape and create an atmosphere of safety needed in the neighborhood.

Large Scale Lighting:

This conventional form of lighting can be effective, however if not properly implemented, it can hinder a streetscape. The majority of the wide high-vehicular traffic streets (Type 3 & 4) are currently lit with this type of lamp. Instead of providing a sense of security they act as spotlights. It is recommended that the use of these lights be minimized and strategically placed at major intersections. They should be placed on existing electrical poles to limit sidewalk obstacles and adhere to the scale of the surrounding buildings.





It is recommended that the placement program begin with an all inclusive plan for streetscape lighting and should consider the following:

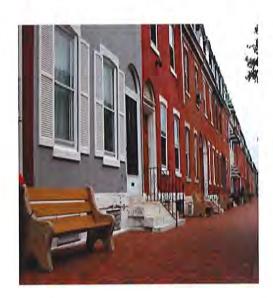
- Height scale of light
- Brightness and type of light of lamp
- Number of lights per block
- Distance between each light

Street Furniture:

The purpose of street furniture is to provide a function to visiting and residential pedestrians. These elements include benches, mailboxes, trash cans, newspaper boxes, and historical markers. Although these elements may appear to play an insignificant role in the streetscape, they are essential in establishing order, enhancing safety, and sustaining the function of these spaces.

Benches - Stoops and sidewalks currently serve as benches for residents. The garden streets of St. Albans and Madison Square have benches regularly placed along the corridor, which add to the pedestrian atmosphere of their design. It is unclear if these types of benches would work in other streetscape typologies.

The second area where street furniture could be of great use is bus stops. Again, to our knowledge these features would not have been part of the original design, given the use of trolley lines. Current bus stops are made out of aluminum, painted black and with an advertisement on one of the sides. This is a typical pattern followed throughout the country. However, it is recommended the removal of these bus stops with a design that is more in keeping with the historic character of the neighborhood.





Landscaping and Urban Greenery:

The Fairmount Commission is in charge of the maintenance and planting of all urban streets in the City of Philadelphia.. The commission has specific guidelines for the species of trees that can be planted on sidewalks. The following species list should be followed for the street typologies found in this neighborhood:

Large, Medium, and Columnar Trees:

Type 2,3, & 4 should be planted with large and medium species, while Type 5 streets should be planted with columnar trees species.

MEDIUM TREES - 30' to 46'

- Aesculus x carnea 'Briotii" Ruby Red Chestnut
- Cercidiphyilum japonica Katsuratree
- · Cladrastis lutea Ye]iowwood
- Crataegus lavellei Lavalle Hawthorn
- Koelreuteria paniculata Coldenraintree
- Malus selective varieties Crabapple
- Ostrya virginiana Hop Hornbeam
- Phelodendron amurense Amur Corktree
- Prunus yedoensis Youshino Cherry
- Ulmus parvdolia- Chinese elm
- Quercus acutissirna Sawtooth Oak

LARGE TREES - OVER 48'

- Acer rubnint (selective cultivars) Red Ma ple
- Celtus eccidentallis Haclcberry
- Corylus colurna Turkish Filbert
- Fraxinus perinsylvanica 'Patmore' Pat more Green Ash
- Gleditsia triacanthos (selective cultivars)
 Honey Locust







- a) Halka
- b) Moraine
- c) Shadernaster
- Ginkgo biloba (male selections only) Gink go
- Lsiquidantber styracitlua Sweetgum
- · Quercus borealis Red Oak
- Quercus macrocarpa Bur Oak
- Quercus paulustris Pin Oak
- Sophora japonica Japanese Pagoda Tree
- Tilia curdata Little Leaf Linden
- Zelkova serrata (selective cultivars) Japa nese Zelkova
 - a) Green Vase
 - b) Village Green

COLUMNAR TREES FOR ALLEYS AND NAR-ROW STREETS

- Acer rurbum columnare 'Armstrong' Arm strong Columnar Red Maple
- Carpinus betulus fastigiata Pyridmidal Eu ropean Hoinbearn
- Ginkgo Bioba 'Princeton Sentry' Princ eton Centry Ginkgo Grafted Male Variety
- Prunus sargentii 'columnar' Sargent Up right Cherry
- Quercus rober fastigata Pyranudal English Oak

Small Trees:

The garden blocks, based on the available photographic evidence, have historically presented plantings of bushes and flowers. Thus, it is recommended that smaller trees be planted in these areas.

SMALL TREES - UNDER 30'

Acer buergerianum - Trident Maple





- Acer campestre Hedge Maple
- Acer ginnala-Amur Maple
- Acer tararicum Tararian Maple
- Crataegus crusgalli inermus Thorrtless Hawthorn, tree form
- Crataegus oxyacantha "Superba" Crimson Cloud Hawthorn tree form
- Crataegus phaenopyrum Washington Haw thorn, tree form
- Crataegus viridis Winter King Hawthorne
- Prunus triloba flowering Plum
- Malus selective varieties Crabapple
- Malus tloribwiba Japanese Flowering Cra bapple
- Syringa amurense Japanese Tree Lilac

The private gardens on Bainbridge do not fall under the jurisdiction of the Fairmount Commission and do not have to abide by these regulations, but it is recommended that all flora planted in this lots should not destroy or jeopardize the historic fabric of the building's façade. It is not recommended to plant ivy, or those trees whose root systems might affect the foundations of buildings.





EXISTING PROPER-TIES GUIDELINES

Objectives:

The objective of these guidelines is to assist homeowners and residents in maintaining and enhancing the historic environment of Schuylkill-Southwest site. The guidelines described address improvements for homeowners. The standards outlined will apply to the following:

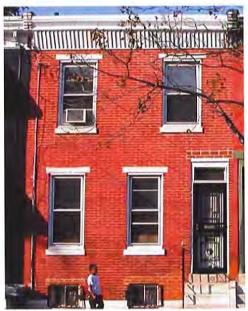
- All existing Residential/Commercial buildings, which belong to the Predominant historic building Typologies (total nine Types, see typology matrix).
- All exterior improvements and changes of existing properties (alterations or additions)
- · All exterior renovation for existing properties.



Predominant Residential/Commercial Typology:

The Schuylkill-Southwest studio site was established as a residential area around 1850. Mostly nineteenth-century vernacular two or three-story brick row houses can be found in the whole area. This pattern continued throughout the development of the district, remained unified by continuity in building types, landscape, orientation, and site relationships.

Although these residences are homogeneous, they are distinguished by subtle differences in architectural elements, scale (height and width), fenestration (doors and windows) proportions and details.



Type 1A

These typical historic buildings are divided into nine Types (see Typology Matrix and Map), and the most predominant types are TYPE 1, TYPE 6 and TYPE 2.

TYPE 1: two story, two bay brick row houses; flat roofs with cornice, rectangular or arch windows and door; use stoops as entrance, with/without window in the basement.

TYPE 1A: only one window in ground floor.

TYPE 1B: two windows in ground floor.

TYPE 2: two story, two bay brick row houses; mansard roofs with one dormer, bay windows occupy one or two stories; arch or rectangular window and doors; use steps as entrance, with/without window in the basement.

TYPE 2A: bay window either in ground or second floor.

TYPE 2B: two-stories bay windows. The only setback residences are located in the east part 2200 block of Bainbridge.

TYPE 3: two story, three bays brick row houses; arch entrance door is in the center, arch windows are arranged symmetrically, basement windows are in two sides of the stoop.

TYPE 3A: flat roofs. This type only appears in Madison Square.

TYPE 3B: mansard roof with three dormers; only on 2300 block of Christian Street.



Type 2A



Type 3A



Type 4

TYPE 4: They are two-story, two bay brick row houses which combine two parapets of houses to create one triangular pediments; arch doors and arch windows; basement window is beside the stoop. This type only appears on 2300 block of Christian Street.

TYPE 5: almost the same as TYPE 1, but has a gable roof, without basement and stoop. They are two- story, two bay brick row houses; arch or rectangular window and doors. This type only appears on 700 block of 20th Street.

TYPE 6: almost the same as TYPE 1, but three-stories in height.

TYPE 6A: only one window in ground floor.

TYPE 6B: two windows in ground floor.

TYPE 7: two story, two bay brick row houses, same as TYPE 1, but caped by mansard roofs with two dormers; arch or rectangular window and doors; use stoops in entrance, two windows in the basement.

TYPE 8: three-story, two bay brick row houses; flat roofs; bay window occupy three stories, caped by dominant cornice; rectangular windows and door; use stoops in entrance, no window in the basement.

TYPE 9: three-story, two bay brick row houses; flat roofs, a shallow bay window in second floor, and a pair of windows are located in ground floor; rectangular windows and door with jackarch; use



Type 6A



Type 7



Type 8

stoops in entrance, two windows in the basement. This type only appears on 2200 block of Christian Street.

Assessing the Integrity of Your Building:

- 1. Check the location of your property in typology map, find out what is your property TYPE.
- 2. Find the TYPE of your property in TYPOLOGY MATRIX, and know all the Character-Defining Features in your property.
- 3. Identify the original or renovated parts in your property, and make the assessment of the integrity of your building.
- 4. Follow the guidelines according to classification of Character-Defining Features.

General Design Alterations:

Any sensitive changes may be considered when altering historic building to meet changing needs. However, these alterations should occur in a manner that will not detract from the historic integrity of the property.

- 1. All alteration should not be removed or al tered if original to the building.
- 2. All alteration should be repaired rather than replaced.



- 3. All alteration should not be covered or concealed with vinyl, aluminum or other artificial material.
- 4. All alteration should not be added unless there is physical, pictorial, or historical evidence that such feature were original to the house. These features should match the original in materials, scale, location, proportions, form, and detailing.

All renovations should preserve these character-defining elements:

- a. Story (height): two or three stories, compatible with whole block.
- Bay (width): two or three bays, compatible with whole block.
- Façade Material (exterior wall): most are brick.
- d. Roof Forms : Mansard or Flat roof; Parapet or Pediment.
- e. Cornice: usually built up of projecting rows of brick.
- f. Windows: rectangular, arch or bay windows
- g. Doors: rectangular or arch.
- h. Foundation: basement and steps/ stoops.
- Setback: keep existing setback, check streetscape guidelines.





Additions to Historic Buildings:

Compatible additions to existing historic buildings may be considered, especially when such work will help to extend the usable life of the building.

1. An addition should be compatible in scale, materials and character with the main building.

- The addition should be subtly distinguishable in its design from the historic portion.
- An addition to the front of a historic building is generally inappropriate when it would alter character-defining features.
- 2. A rooftop addition should be set back substantially, to preserve the perception of the historic scale of the building. (check with streetscape guidelines).
- A rooftop addition shall be simple in design to prevent it from competing with the primary façade.
- Keep a minimum setback that make the addition invisible from the street level.
- 3. Modern Equipment, Air Conditioning, Antennas and Satellite Dishes, Security Bars, solar Collectors, Fire Stairs, should keep clear from street façade for maintaining the integrity of streetscape.



Treatment of Character-Defining Features:

- 1. Distinctive stylistic features that characterize a building, structure or site should be treated with sensitivity.
- Preserve intact features with appropriate maintenance techniques.
- Don't obscure significant features with coverings or sign panels.
- 2. Avoid removing or altering any historic material or significant architectural features.
- Retain and preserve original wall material, which is typically brick.



3. Avoid adding materials, elements or details that were not part of the original building.

4. Repair those features that are damaged.

 Use repair procedures that will not harm the historic materials.

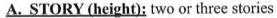
5. Replace features that are missing or beyond repair.

- Reconstruct only those portions that are damaged beyond repair.
- Reconstruct the original element, based on adequate evidence, if possible. This option is the most strongly preferred.
- If the evidence is missing, a simplified interpretation of similar elements may be considered.
- When feasible, use the same kind of material as the original. A substitute material may be acceptable if the form and design of the substitute itself conveys the visual appearance of the original material.



Guidelines For Architecture Character-Defining Features:

The homogeneity of building in the types should remain consistent mass, proportion, and pattern of fenestration. The façade materials, roof forms, openings (windows and doors), historic cornices and stoops are among the character-defining features found on many of the buildings should be preserved.

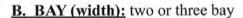


The heights of buildings in the site are mostly two or three stories. Any alteration or addition



should complement the existing pattern of building heights.

- 1. Buildings in the district should keep consistency with block height.
- 2. Any alteration or addition may not exceed three stories when buildings in the block are of varying heights.
- 3. Rooftop additions should be setback from the building front until invisible from the street level (also coordinate with the Streetscape Guidelines/Roof Form Guidelines).



The widths of buildings in the site are mostly two or three bay. Any alteration or addition should keep the uniform appearance of block facades.

- 1. Building width should keep the same proportion with whole block.
- 2. The façade of a multi lot building should be divided according to the lot width of the block.

C. FACADE MATERIAL (exterior wall):

The textural qualities of masonry walls are key character-defining features of historic buildings that should be preserved. Rehabilitation or redevelopment projects should be constructed to be long lasting and use materials and detailing that maintains the distinct character and harmony of the block.

- 1. Preserve original facade materials.
- Traditional materials including brick, stone





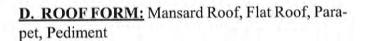


and stucco should be used as the primary building materials. Tile, stone, glass block, copper flashing, metal and wood should only be considered for accent materials.

- A high level of design and architectural detail is preferred.
- Don't cover or obscure original facade materials.
- Uncover the original material if it is obscured with a newer material.

2. When replacement of facade material is needed, replace it in kind.

- When installing new brick to fill a secondary opening, use a brick that contrasts subtly with the original, because it will enable one to distinguish the change as a part of the evolution of the history of the building.
- 3. Painting a previously unpainted façade material is discourage.



1. Preserve the historic character of the roof and keep the consistency with whole block.

- Altering a historic roof profile or slope is inappropriate.
- Rooflines should mimic the separate yet complementary rhythm of block buildings.
- 2. Roofs with historic cornices that articulate the rhythm of the buildings are preferred.
- 3. Parapet/Pediment should be kept with brick detailing and stepped or sloped to achieve a harmonious sequence along the building façade.





- Altering a historic parapet/Pediment line is inappropriate.
- The historic parapet/Pediment should keep traditional brick as its material.



Most of the historic buildings have cornice as the decorative element on its façade. The reconstruction and maintenance of historic cornice details should be considered.

1. Preserve historic cornice details.

- Most historic buildings have cornices to cap their facades. Keeping the repetition along the block contributes to the visual continuity.
- 2. Reconstruct a missing cornice when historic evidence of its design is available.
- 3. A simplified interpretation is also appropriate for a replacement cornice if evidence of the original is missing.

F. WINDOWS:

The size and arrangement of window and openings in a historic building are determinants of the scale, rhythm, and formality of a building. Historic windows and doors should be preserved in their place in order to keep those qualities. There are three kinds of windows in Schuylkill-Southwest site area: rectangular, arch and bay window.

1. Maintain the character of historically significant openings.

• The size and shape of original window openings are important characteristics that should be







maintained.

- When these elements have already been altered, consider restoring them if their original condition can be determined.
- The windows should be vertically oriented.
 Arched tops, framing and decorative lintels should follow the historic character of the block.

2. Retain and repair existing window openings, when feasible.

- Visually duplicate the general design and proportion of the older window if a new substitute is to be used.
- This includes the window sash, lintels, sills, architraves, shutters, hoods, transoms and all hardware.
- Opaque, reflective, metallic finishes and tinted materials are inappropriate when replacing original window materials.

3. Maintain a window's true divided lights when feasible.

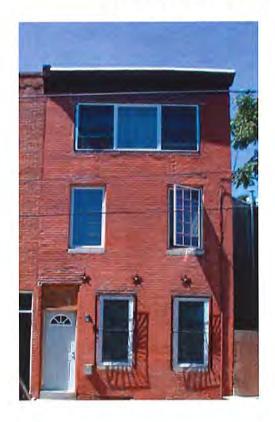
- True divided lights are encouraged when replacing a window.
- "Internal" muntins, sandwiched between two layers of glass, are inappropriate.

4. The sash and frame should appear similar to those seen originally on the building.

- Typically, early sash and frame components would have been made of wood. However, aluminum and metal casements may be considered.
- Whatever material is used, it should have a weather-protective finish.

5. The material used to fill the void should maintain the proportions and character of the original opening.

Inset the material to create a shadow line





similar to that seen from having a window inset in the opening.

A material or color change should be considered when filling a void, because it will enable one to identify the evolution.

G. DOORS:

Most residential buildings use only one front door as main entrance face toward street. Some of the doors have lintel jackarch or transom as framing or decoration.

1. Maintain historically significant doors.

- Avoid altering the size, shape and the features of original doors.
- Use original doors and door hardware when they can be repaired and reused in place.

2. The restoration or renovation of openings should attempt to return the façade to its original character.

- If these elements have already been altered, consider restoring them if their original condition can be determined.
- Use a door style that is similar to that used originally when feasible.
- 3. Installing a new door is appropriate where it does not alter the character of a significant facade.

H. FOUNDATION (basement and stoop/step):

A stoop/step is always in front of the main entrance of the building and an elevated basement, which may have a window that opens toward the sidewalk. This special character feature of historic buildings in the site should be preserved.







1. Maintain the historic character of stoop/step when feasible.

- The orientation, width and flights of stoop/ step should follow the character of the block.
- Try to keep the same textural and qualities stoop/step with the originals.

2. Consider restoring stoop/step when they have already been altered.

- Try to keep the character along the block when altering/restoring
- Any alteration/restoration should has public-safety considerations, and use appropriate finish and treatment.
- 3. Maintain the character of historically significant openings in the basement, and follow the guidelines of the "Windows".

I. ALIGNMENT (Setback):

Buildings in the historic district should work together to create the "wall of buildings' effect associated with original streetscape.

1. All buildings must maintain the alignment of facades along the block.

- Any alteration or addition in a setback block should keep the same depth of setback.
- Bay window alteration or addition can only apply in the block with bay window (TYPE 2, TYPE 9); and the projection should align with the adjacent buildings.
- 2. Exceptions may be granted if the setback is pedestrian-oriented and contributes to the quality and character of the streetscape.







3. Rooftop additions should keep a minimum setback from the building front according to the streetscape guidelines (also check the Roof Guidelines).





Code	type1A	type1B
Address	22 nd St 718	Catherine St 2005-07
locations	22" St 7XX; 27" St 6XX; Bainbridge; Taney	21 st St; 26 th St; Bainbridge; Bambrey; Kater; Madison 24XX; Pemberton 20XX,22XX; St Albans 22XX,23XX; Webster 20XX
a.Story(height)	2	2
b.Bay (width)	2	2
c.Material (Ext.wall)	Brick	Brick
d.Roof Form	Flat	Flat
e.Cornice orParapet	Cornice	Cornice
f, Windows	Rectangular or arch	Rectangular or arch
g.Doors	Rectangular or arch	Rectangular or arch
h.Foundation	step	Stoop and windows

code	Type2A	Type2B
Address	Bainbridge 2203	Bainbridge 2201
ocations	22nd St 7XX; Bainbridge 22XX; Catharine 23XX; Christian 24XX;22nd St 74X; 23rd St 74X; Bainbridge22XX; Catharine 23XX; St Albans 22XX	Bainbridge22XX; Catharine 23XX; SI Albans 22XX; 22 nd SI 74X; 23 rd SI 74X;
a.Story(height)	2	2
b.Bay (width)	2	2
c.Material (Ext.wall)	Brick	Brick
d.Roof Form	Mansard/ Dormer	Mansard/ Dormer
e.Cornice orParapet	Cornice	Cornice
areathras arranges	The state of the s	
f. Windows	bay window in GF or 2 nd floor	bay windows
	bay window in GF or 2 nd floor Arch	bay windows Rectangular
f. Windows	The Charles of the same of the state of	

code	Type3A	Type3B
Address	Madison 2308	Christian 2337-39 Christian 232X-234X
ocations	Madison 22XX-23XX	
a.Story(height) b.Bay (width)	2	2 2/ 1 window in GF
c.Material (Ext.wall)	Brick	Brick
	E/150	Mansard/ Dormer
d.Roof Form	Flat	3,777,770, 4,774,774
e.Cornice orParapet	Cornice	Cornice
f. Windows	Arch	Arch
g.Doors	Arch	Arch
h.Foundation	Stoop and windows	Stoop and windows
i.Setback	no	no
2 7 7 7 7 7 7		
code	Type4 Christian 2337-39	Type5 20TH.700
Address locations	Christian 2337-39 Christian 232X-234X	20TH.7XX (Group 92)
a.Story(height)	2	3
a.Story(height) b.Bay (width)	2 2/ 1 window in GF	3 2/ 2 window in GF
b.Bay (width)	A Charles and the Control of the Con	
	2/ 1 window in GF	2/ 2 window in GF
b.Bay (width) c.Material (Ext.wall)	2/ 1 window in GF Brick	2/ 2 window in GF Brick
b.Bay (width) c.Material (Ext.wall) d.Roof Form e.Cornice orParapet	2/ 1 window in GF Brick Flat	2/ 2 window in GF Brick Gable
b.Bay (width) c.Material (Ext.wall) d.Roof Form e.Cornice orParapet f.Windows	2/ 1 window in GF Brick Flat Cornice and Pediment Arch	2/ 2 window in GF Brick Gable Cornice
b.Bay (width) c.Material (Ext.wall) d.Roof Form e.Cornice orParapet f.Windows g.Doors	2/ 1 window in GF Brick Flat Cornice and Pediment Arch	2/ 2 window in GF Brick Gable Cornice Rectangular
b.Bay (width) c.Material (Ext.wall) d.Roof Form e.Cornice orParapet f.Windows	2/ 1 window in GF Brick Flat Cornice and Pediment Arch	2/ 2 window in GF Brick Gable Cornice Rectangular

code	Type6A	Type6B
Address	South St 2612-14	Bainbridge 2235
locations	South 26XX; Schuylkill 27XX	20 ¹⁸ St 7XX; 23 rd St 7XX; Bainbridge; Catharine 22XX,23XX; Christian ST; Gray's Ferry; South St 23XX,25XX
a.Story(height)	3	
b.Bay (width)	2/ 1 window in GF	2/ 2 windows in GF
c.Material (Ext.wall)	Brick	Brick
d.Roof Form	Flat	Flat
e.Cornice orParapet	Cornice	Cornice
f. Windows	Rectangular or arch	Rectangular or arch
g.Doors	Rectangular or arch	Rectangular or arch
	Stoop and window	Stoop and 2 windows
h.Foundation		

code	type7	type8
Address	St Albans.2349-2351	Catherine 2217-2219
locations	22 nd St 7XX; Fitzwater 22XX; Gray's Ferry 243X-4X; St Albans 23XX	Catherine 22XX; Madison
a.Story(height)	3	3
b.Bay (width)	2	2
c.Material (Ext.wall)	Brick	Brick
d.Roof Form	Mansard/ 2 Dormers	Flat
e.Cornice orParapet	Cornice	Cornice
f.Windows	Rectangular or arch	bay windows
g.Doors	Arch	Rectangular
	Charles and the second deals prompt the second deals are second to the second deals are second to the second deals are second to the second deals are second de	
h.Foundation	Stoop and windows	Stoop

code	Type9	
Address	Christian 2239-41	
locations	Christian 22XX	
a.Story(height)	3	
b.Bay (width)	2/ 2 windows in GF	
c.Material (Ext.wall)	Brick	
d.Roof Form	Flat	
e.Cornice orParapet	Cornice	
f. Windows	Bay window in 2 nd floor	
g.Doors	Rectangular or arch	
h.Foundation	Stoop and windows	
I. Setback	No	

New Residential Construction Guidelines

Objective:

The guidelines are intended to encourage creativity in new design without disrupting the strong rhythm of the historic fabric. This is important in order to preserve those elements which have been identified as valuable and unique to this neighborhood. To accomplish this, the guidelines are proposed to encourage the continuity of overall architectural form rather than detailing. Compatibility of new construction is especially important in this neighborhood given the homogeneity of the building stock. Multiple building types exist in the neighborhood. However, they are all unified by a similar relationship to one another and to the street. This dense urban pattern creates a unique physical and social environment. The elements of this architectural form which contribute to this pattern are height, width, orientation to the street, fenestration and the presence or absence of a setback or front stoops and exterior material.





Single Lot Infill:

When designing a single structure to be inserted into a complete block, it is recommended to refer to the adjacent buildings and their typology to see what physical elements are seen as valuable (see typologies). The scale and proportion of the new buildings should maintain that of the adjacent buildings and elements should be respected but not copied. These guidelines are not intended to dictate the appearance of individual elements but rather to suggest the importance of including these elements in any new construction.



A. HEIGHT:

- 1. Height should refer to the adjacent buildings or be consistent with the adjacent typology.
- While building code may allow for a three story building, this is only encouraged where the adjacent buildings are also three stories tall. On blocks such as Kater Street, which has a uniform two story streetscape, it would only be appropriate to build only a two story building at the same height as those adjacent.



B. WIDTH:

- 1. Historically, the widths of buildings reflected the lot size of the property and are contiguous with the adjacent houses.
- The width of new buildings should refer to the adjacent buildings, typology and historic lot widths.
- When building on two adjacent lots, it is not acceptable to build one freestanding building in the middle of the two lots.



C. ROOF FORM:

1. The roof form should reflect the predominant typology of roof types of the block.

D. ORIENTATION TO THE STREET:

- 1. All of the historic residential buildings in the neighborhood have a direct relationship to the street.
- All doors open from the living areas of the house and exit directly onto steps, stoops or right onto the sidewalk.
- Next to these doors are windows which allow the occupants to constantly view and potentially interact with the activity on the sidewalk and street.



 The placement of garages on the first floors of new construction disrupts this important physical and social element of the buildings and prohibits any interaction of the building with the sidewalk or street. No garages should be allowed on the front façades of residential buildings.

E. FRONT STOOPS:

- 1. Stoops or steps should be included as a mediating element between the inside and outside in areas where these are present in the block typology.
- Stoops and steps are important physical elements that play a social role in the neighborhood and act as street furniture and public space for the interaction of neighbors.



- 1. The setback of any new building should be the same as those buildings adjacent or of the block typology.
- In a block where all buildings are placed directly behind the sidewalk, all new buildings should do the same.
- In blocks where a setback or front yard are present, any new buildings should also have the same setback and the new façade should be contiguous with the existing facades.

G. FENESTRATION:

1. Doors and window in new construction should not disrupt the rhythm of the fenestration of the block.







H. EXTERIOR MATERIAL:

- 1. All of the existing historic fabric is built of brick or stone.
- New construction should be consistent with these materials and be preferably of brick or masonry and should not be clad in vinyl or metal siding materials.

Multiple Lot Developments:

There are relatively few single vacant lots within the neighborhood and these sites may not be ideal for inserting a new building. However, there are also a few areas where multiple lots are currently vacant such as [. . . .]. For areas such as these, it is encouraged that the development of these lots be consistent with the development patterns of the neighborhood and be developed with houses that are consistent with the architectural values already present in the neighborhood. It would be preferable that the buildings reflect the width of the lot size and are two or three stories tall and include a similar relationship with the street and with adjacent buildings. However, a new building typology should be created that reflects contemporary design.



Commercial Properties Guidelines:

The following design guidelines shall apply to all properties that are clearly constructed and/or used for commercial purposes. This will include both existing properties and new construction with ground floor commercial spaces; and existing properties originally design and constructed for commercial purposes but whose later use has been modified.

The guideline aim to discuss specific design issues relating to character-defining architectural features of commercial structures such as storefront, signage, etc. All other design issues not otherwise mentioned shall follow the general guidelines for existing properties and new construction accordingly. The main objective is to preserve the character-defining features that clearly distinguish the commercial properties from other building types, while allowing potential alterations or developments that supports contemporary economic use of the building.

Sections:

- a) Ground floor facade
- b) display windows and bulkheads
- c) Entries and doors
- d) Signs and graphic designs
- e) Awnings







A. GROUND FLOOR FACADE:

- 1. Preserve the historic character of the ground floor.
- Preserve storefront openings and window and door frames.

 Preserve loading docks, loading bay openings and window and door frames.

2. Preserve significant storefront components where they exist.

- Features such as the columns or piers that support the storefront framing, should not be altered, obscured or removed.
- The proportion between display glass area and storefront framing should be maintained.

3. Contemporary design should be contextual to block typology for commercial ground floor façade.

- New design should convey the character of representative commercial ground floor façade on streets where there is a dominant character-defining building typology. For instance, on streets where traditional storefronts are prevalent, new design should continue to express the character of typical storefronts, including the transparent quality of the display window.
- On streets where no prevailing typology is present, refer to general design guidelines for new constructions.
- New commercial design should maintain the traditional separation between storefronts and upper facades. This separation should be in alignment with adjacent buildings.

B. DISPLAY WINDOWS AND BULKHEADS:

1. Preserve, maintain or repair original storefront glass and bulkhead materials where they exist.

2. Display windows that are missing should be replaced.

Clear glass should be installed for retail commercial spaces.







 Tinted glass, interior shades and blinds or other screening devices can be installed for privacy for non-retail use commercial spaces and residential spaces converted from old storefronts or loading bays.

3. If the original bulkheads are missing, replace them with traditional rectangular design.

- If the existing frame is in place, similar replace replacement material should be installed. For instance, a wood bulkhead panel infill is more appropriate for a wood framing storefront than using materials such as glass blocks or metal.
- 4. Conspicuous build-in grilles that disrupt the transparency quality of display windows should be avoided.
- Alternatives such as inconspicuous rolldown grilles may be used instead.



- 1. Preserve storefront entrances and doorways in their original design and configuration.
- Alignment of entries, whether recessed or flushed with sidewalk should be maintained.
- Solid paneled doors should not be installed on retail-space storefronts.
- 2. Installing a new door is appropriate where it does not alter the character of a significant facade.

D. SIGNS AND GRAPHIC DESIGNS:

- 1. Preserve historic signs where they exist.
- In cases where the historic sign does not represent the current commercial operation, the sign should be preserved as part of the building's archi-







tectural features; and an appropriate new business signs can be installed independently.

2. Signs should be designed in coordination with the overall building façade.

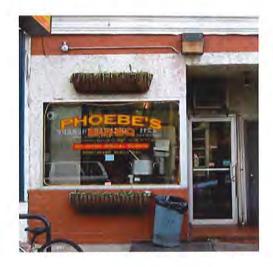
- Signs should be sized in proportion to the building façade such that they do not dominate the appearance.
- Select colors that are compatible with the building front.
- Select letter styles and sizes that are compatible with the building front. Avoid oversized letters and hard-to-read or overly intricate typeface styles.
- Select materials that are compatible with the building front. For instance, use of unobtrusive painted wood and metal signs are encouraged on historic building façade.
- Locate sign on building such that it will emphasize design elements of the façade itself. Signs should never obscure architectural details or features.
- Mount signs to fit within existing architectural features.

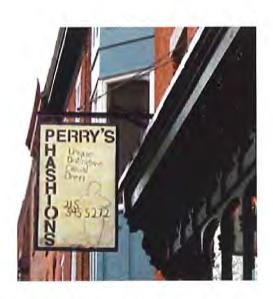
3. Traditional sign locations including storefront beltcourses, upper façade walls, hanging or mounted inside windows, projecting from face of building are encouraged.

- Painted window signs or signs mounted inside windows should not exceed 30% of the total window areas.
- A projecting sign should be located near the business entrance at, or slightly above, eye level.
- Avoid more than three different sign locations on a single building façade.

4. Signs that are out of character, and that would alter the historic character of the street are inappropriate.







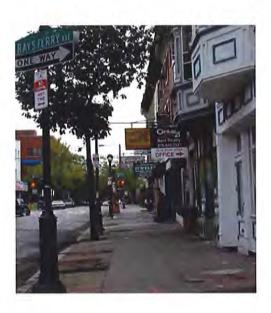
- Any sign that visually overpowers the building or obscures significant architectural features is inappropriate.
- 5. Mounting or installation of signs should be as non-destructive to building fabric as possible.
- For instance, mounting brackets and hardware should be anchored into mortar not masonry if possible.
- 6. Sign lighting should be compatible with the historic character of the street.
- Flashing signs are not recommended.
- Limited amount of neon that is not visually obtrusive is acceptable.

E. AWNINGS:

- 1. Awing or canopy installation should accentuate character-defining features.
- Awnings should not obscure significant architectural features.
- 2. Mounting or installation of awnings should be as non-destructive to building fabric as possible.
- 3. Awning or canopy may be used as locations for signs.







Industrial Properties Guidelines:

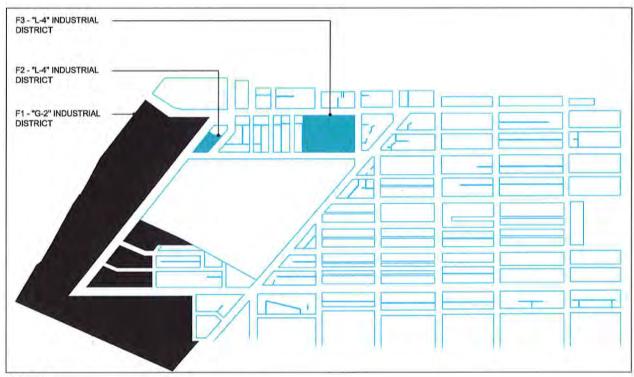
The industrial areas in the neighborhood fall within the "G-2" and "L-4" industrial districts. The sections under "G-2" are bounded by the Schuylkill river on the west Schuylkill avenue on the east along the west wall of the Naval Home, half way down the south wall of the Naval Home, west across Catherine Street, southward on Taney, eastward on Christian, and southbound on 26th Street (see map 1). There are two separate sections under the "L-4" industrial district. The first section is bounded on the west by Schuylkill Avenue, east by 27th Street, south by Bainbridge Street, and north by a quarter of a block south of South Street (see map 1). The second section is bounded on the east by 24th Street, south by Bainbridge Street, north by South Street, and west by the back of a row of houses on Bambrey Street (see map 3). This site contains six major uses and a few buildings (see map 2). Together these areas make up approximately 32.7 acres and 22% of the entire study area. The "G-2" and "L-4" industrial districts must comply with the regulations in the Philadelphia Building Code § 14-500.

Characteristics of industrial buildings are high ceilings, continuous open spaces, large windows, and a strong framework. These buildings are compatible for many uses. This section establishes a range of recommendations that can be applied to preserve the character of the buildings, landscape, and overall built environment through alterations and additions. The guidelines for new construction for industrial sites do not seek to impose a particular architectural style, but to promote quality development that will be a benefit to the neighborhood.

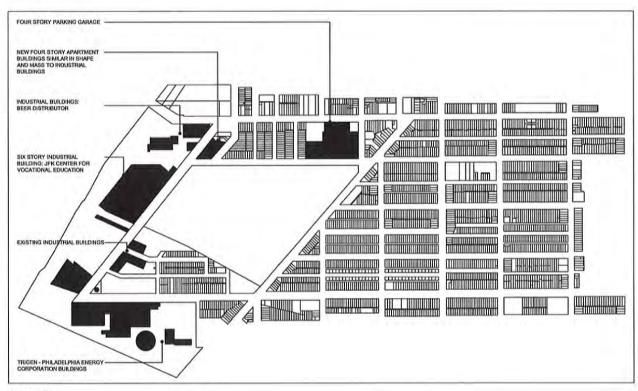




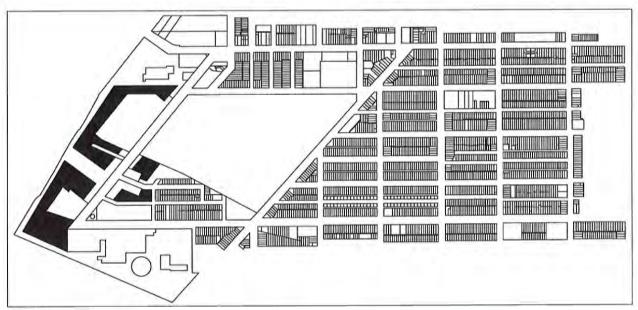




Map 1



Map 2



Map 3

Repairs and Alterations:

- For "L-4" Industrial District, alterations can only be made within the enclosed building
- Substitution of materials will only be permitted when it can be demonstrated that removal of the damaged existing materials would be detrimental and cause further damage to the adjacent material or the entire component
- All materials should be repaired or replaced in kind in order to maintain historic fabric where applicable



Additions:

- Location for additions should occur at side or rear yards or empty lots (see map 3)
- Additions must not obscure original ornamental features.

- Size, scale, and massing of the addition will be limited as follows:
- Height may not exceed the shorter of the existing building height or 60 ft
- Elevator shafts, mechanical equipment and penthouses must be set back as to not be in view of pedestrians at street level (see diagram1)
- Additions should be designed in such a way as to preserve the form, mass, and profile of the existing building
- Materials used for additions must be recognizably different and can be of the same materials used in the construction of the original existing structure to which they will be attached or of other contrasting materials
- Additions can only be made within the enclosed building in "L-4" Industrial District

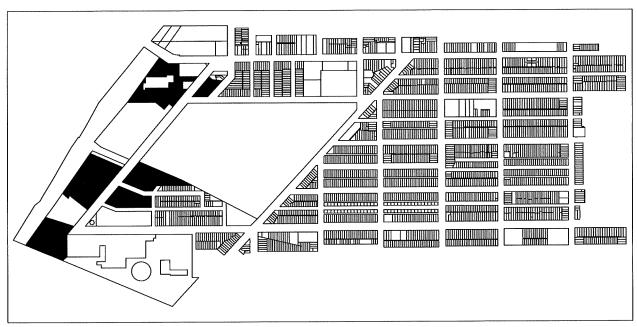


Diagram 1

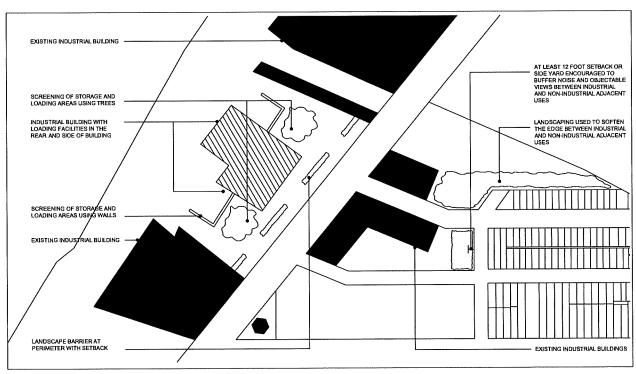
New Construction:

- New buildings will be permitted at vacant and empty lot locations, or where a building has been or will be demolished (see map 4)
- Design of new construction must conform to surrounding buildings in size, scale, and appearance
- New construction can only be made within the enclosed building in "L-4" Industrial District
- Height regulation is not restricted but encouraged to be of same height of neighborhood or not higher than 60 ft.
- Buildings should be constructed of structural steel, masonry, glass or any material provided it is in keeping with the industrial building frame of construction
- A variety of building setbacks should be pro-





Map 4



Map 5

vided in order to avoid long monotonous building facades

- Larger than required building setbacks should be incorporated into new design (see map
 5)
- When choosing a location for a new building, a location that creates opportunities for plazas, courts, or gardens is encouraged

Uses:

"G-2" Industrial District

- Potential uses: Trolley and cab stations, bus terminals, and car and bus barns; machine shops; manufacture of: aircraft, including component parts and auxiliary equipment; apparel and garments of all sorts assembled from purchased rubberized fabrics or plastics; games, toys, children's vehicles, sporting and athletic goods; locomotives, railroad cars, rapid transit vehicles, including component parts and auxiliary equipment; musical instruments and parts; trucking and railroad freight terminals, yards, sidings and shops; public service heat, light or power plant; provided, that smoke controllers are installed and maintained;
- Prohibited uses: dwellings, hotels, and libraries. Art galleries, public museums, hospitals, openair theater or motion pictures, amusement parks, outdoor entertainment or public assembly, indoor theater and any other entertainment of guests and patrons.

"L-4" Industrial District

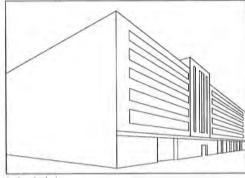
o The uses associated with the properties include a parking garage and newly constructed homes (see photo 1 and photo 2)



Photo 1

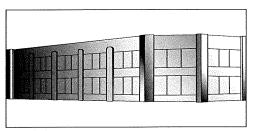


Photo 2



Model 1

- Zoning changes must be made in areas where needed to benefit the neighborhood
- In case of change of use to residential, industrial appearance must be kept, including but not limited to high ceiling, large scale, and big windows (see model 1 and model 2)
- Recommended uses for altered and new buildings aside from waterfront property are open spaces, dwellings, parking lots, recreational centers and other community related activities



Model 2

A. SITE PLANNING:

- Landscaping around the entire base of the building is recommended to soften the edge between the industrial building and non-industrial uses.
- Controlled site access is recommended for safety and maintenance of the property
- A barrier can be placed at the edge of the perimeter at a height no higher than 6 ft. for security or property barrier purposes
- Screening of loading areas, work areas, and mechanical equipment is recommended (see map 5)
- Convenient public access and visitor parking is encouraged
- An emphasis on the main building entry and landscape should be considered
- Where possible incorporate parking, trees, and open space
- Entire site development is not encouraged
- Appropriate street or wall mounted lighting is encouraged in order to promote safety visibility
- All utility hardware should try and be concealed

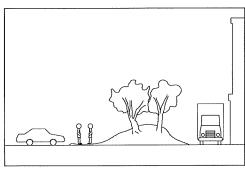


Diagram 2

B. SCREEN WALLS:

- If walls are not required for a specific screening or security purpose they should not be utilized, instead refer to landscaping (see diagram 2)
- Walls provide hiding places for trespassers and surfaces for graffiti (see photo 3)
- Walls should blend with the buildings and architecture it surrounds
- Landscaping can be used in combination with walls



- Site access and internal circulation should emphasize safety and efficiency. The circulation system should be designed to accommodate and correlate vehicular and pedestrian traffic
- Parking lots adjacent to and visible from a public street shall be screened from view through the use of walls and landscaping
- Parking lots should not dominate the industrial site
- Off-street parking should be required and on-street parking should be provided as well when possible
- Off-street parking should consist of one space for every 1,000 sq ft of building floor area.
 Parking spaces should be at least ten feet by twenty feet
- Entry to new construction and addition should incorporate existing streets and walkways (see map 6)

D. LOADING FACILITIES:

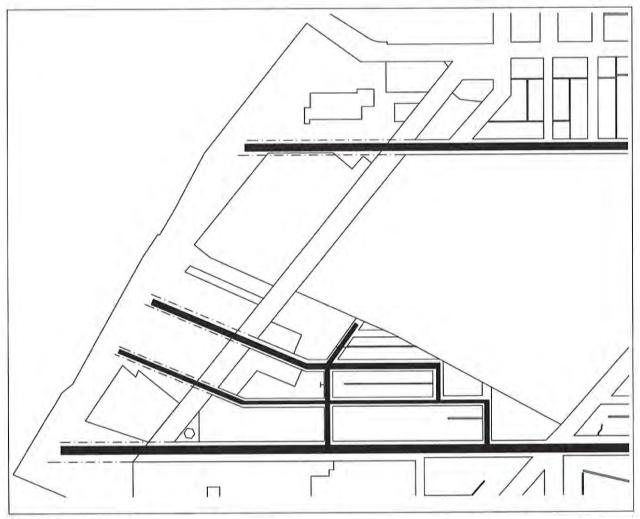
- When placing a loading facility, parking and circulation need to be considered and incorporated into the decision
- Loading facilities should not be located at the front of the building
- Loading facilities are more appropriate at the



Photo 3



Photo 4



Map 6

rear or side of the site where they can have adequate screening to ease unsightly appearances (see photo 4)

E. ARCHITECTURE:

- All industrial buildings shall remain industrial buildings unless the city and residents of the neighborhood approve an appropriate development
- Variety of building grooves and architectural details are recommended to avoid large blank, flat surfaces
- · New chain link fencing with barbed wire



Photo 5

(for security reasons barbed wire may be acceptable in combination with other fencing, including solid masonry walls) should be avoided whenever possible (see photo 5)

- Entries to industrial buildings should portray a high quality appearance while keeping with the form and architecture of the buildings
- Fenestration shall be placed on all elevations
- Signage should comply with the Philadelphia Building Code
- Avoid materials with high maintenance
- For exterior walls, use such materials as concrete, stone, or cement block that will withstand abuse and accidental damage from everyday activities



These guidelines are developed to protect adjoining uses from extreme noise, unwanted odors, and objectionable views. In the instance where an industrial use is adjacent to a non-industrial use, appropriate buffering techniques such as additional setbacks, walls, screening, and landscaping need to be provided to mitigate any negative effects of the industrial use. As required by law, a six feet side yard or rear yard is required but at least a 12-foot side yard is encouraged (see map 5).

All industrial buildings shall be kept in tolerable conditions. Lot spaces shall be kept clean and organized. Any signs of failed maintenance shall be reported and taken care of by owner or city. Garbage shall be properly kept and disposed of.

The atmosphere over the city of Philadelphia is polluted to a degree that is harmful and detrimental to the health, welfare and the safety of its inhabitants.

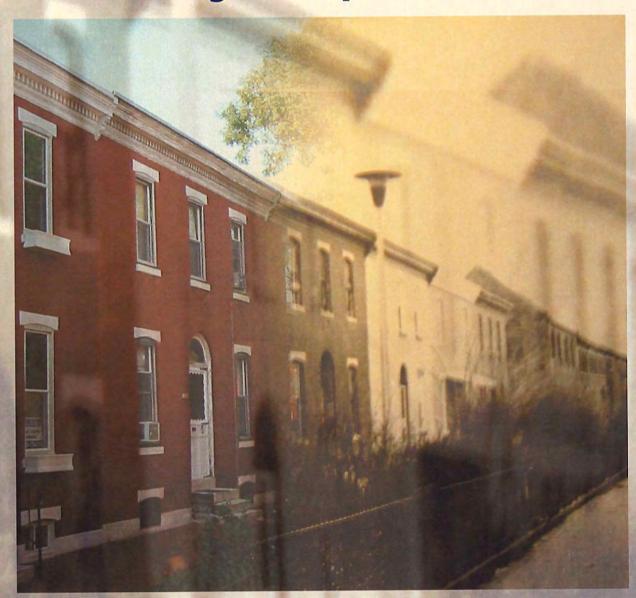




Effective control and elimination of air contaminants is essential to the furtherance of the health and welfare of the City's inhabitants.

Existing and new uses must be operated and maintained in accordance with the Health Code as mentioned in §6-401(1)(a) of the Philadelphia Building Code.

a local guide to preservation



schuylkill-southwest neighborhood 2003 historic preservation studio university of pennsylvania

a local preservation guide

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introduction

The goal of this guide is to encourage the preservation of the Schuylkill-Southwest community's historic built environment by presenting the history of the cultural landscape and providing the tools necessary to maintain it. The Community Heritage portion of the guide gives a brief history of the physical and social evolution of the study area ranging from early settlement patterns to recent community efforts, while the Maintenance Manual section of the guide provides:

- Basic descriptions of both historic and modern materials found in the study area including brick, stone, wood, and vinyl and aluminum siding with explanations of the ways in which these materials deteriorate.
- Descriptions of basic building components including walls, roofs, doors, cornices, and windows that are typically found in the neighborhood's historic structures with their common deterioration mechanisms.
- Mitigation and repair techniques for both building materials and components, such as the formation of rust on decorative ironwork and techniques for its removal.

Not only does the guide provide practical information on how to care for historic buildings, it also contains resource information ranging from how to choose a contractor to how to contact local community organizations and preservation specialists. The guide also contains a list of economic resources for owners of historic homes that are intended to lessen the financial burden of caring for unique and aged buildings. Because the financial investment required for the maintenance historic homes can be significant and often is seen as a deterrent to purchasing such buildings, we have also included a comparative study of rehabilitation versus new construction costs at the beginning of the maintenance manual. This study shows that investment in rehabilitation is often more economically sound for the individual and the community as a whole than investment in new construction. A full bibliography is also provided at the back of the manual for those readers interested in learning more about preservation history and techniques.

The area researched was from the Schuylkill River to 20th Street and from South Street to Christian Street; however, these resources are not limited to any boundaries. Similarly, this information can be shared in any way to create further awareness.

Our hope is that this manual will help make maintaining your home easier and provide you with different tools for economic support, preservation issues, and home repair. We also hope you enjoy the section on the history of your neighborhood.

community heritage of the schuylkill-southwest neighborhood

community heritage of the schuylkill-southwest neighborhood

At the time that Philadelphia was laid out as a city according to William Penn's wishes, our studio site laid outside of the city's boundaries, in the Moyamensing District. It was mostly an agricultural area with large farming estates owned by wealthy Philadelphians.

A major thoroughfare clearly visible in atlases dated to the end of the 18th century shows that Gray's Ferry Avenue already existed at that early date. This road led to Gray's Ferry which was a floating bridge that allowed passage to the West bank of the Schuylkill River and beyond. It was known as the West Gateway to Philadelphia. This road has maintained its course through the present day.

An important landmark in our studio site that has raised much controversy is the Naval Home. Originally one of the large plantations owned by the Pembertons, the Naval Home was acquired by the United States' Navy in 1826. Biddle Hall was designed by renowned architect William Strickland and completed in 1833.

During the end of the early 19th century, the commercial activity gravitated around the river's docks. Both the Naval Asylum and the docks were a source of employment for the few residents of this still rural area.

According to Atlas maps for the city of Philadelphia, in 1862 most of the area lay as vacant lots. By 1876, the land east of Gray's Ferry Avenue was developed and by 1889, the area known as the "Devil's Pocket" had been turned into relatively densely populate residential area. The development of this area paralleled the rapid growth of Philadelphia as a major industrial center and the city's population expansion. Many other neighborhoods developed on the outskirts of Center City and housed mostly working to middle class families. The population shift was mostly due to an exodus from Center City to newly built units that provided better sanitary conditions than the older portions of the city. These construction sites, predominantly built as speculative developments, reflected the urban planning philosophy of the day and were appealing to new residents.



1889 fire insurance map illustrating mass development

community heritage of the schuylkill-southwest neighborhood

Most of the speculative development consisted of two to three-story, brick rowhouses, but often varied in terms of house plan and appearance. The range of building typologies included two and three-bay houses with flat facades and roofs to houses with bay windows, mansard or gabled roofs, and dormer windows. These varying styles reflect the range of residential development occurring in the area. There is a clear hierarchy of construction and the typologies of each development are clearly recognizable and have been categorized into typologies by the Historic Preservation studio at the University of Pennsylvania.

New amenities came along with the development of this area such as the street car along Gray's Ferry Avenue and the Schuylkill River East Side Railroad lines (sponsored by the Baltimore and Ohio Railroad Company) established along the river as of 1889. This made the area more marketable as residents could easily transit to Center City and to the industrial areas. Most of the population at this time was Irish-American and European immigrants. Very few African Americans lived here at the time. This area was not economically tied with the local industries or with the Naval Asylum. The inhabitants of this area held diverse occupations from drivers, butchers, clerks, shop owners, tailors and seamstresses, teachers, and housekeepers.

Many churches were founded to accommodate the spiritual needs of this

new community. Religious institutions such as Saint Charles Borromeo, Saint Anthony de Padua, and the Church of the Holy Apostles were erected and articulated the skyline of this area with their tall steeples. These buildings were important architectural statements that complemented the singularity of some of the rowhouse developments.

Starting in the early 20th Century, a steady immigrant influx started changing the demographic landscape of the area. A large population of African Americans moved in as a result of the Great Migration from the southern United States to the north between 1916 and 1930. More Europeans, Scandinavians and Eastern Europeans settled in, especially in the eastern moiety of the neighborhood. The western part still remained predominantly Irish-American, while the southern edge was becoming increasingly African American. The Schuylkill-Southwest neighborhood was seen as a more hygienic place to live with better housing options than Center City and was close enough to

commute easily to the heart of Philadelphia. The censuses from 1920 indicate that there is a demographic renewal at the time as the old residents made way for the newer groups coming in; however, the new residents appeared to have been working in the same areas as the former. By the late 1940s, the demographic changes solidified into the pattern that is most prevalent at present. Today, this



St. Anthony de Padua, 1902

community heritage of the schuylkill-southwest neighborhood

area is predominantly African American to the east of Gray Ferry's Avenue and Irish-American and Caucasian to the west.

By the 1930s the south street commercial corridor began to decline along the docks and the Schuylkill River. Industries such as the PECO power plant took

over the dock area.



industrial area along Schuylkill Avenue, 1949 (Philadelphia City Archives)

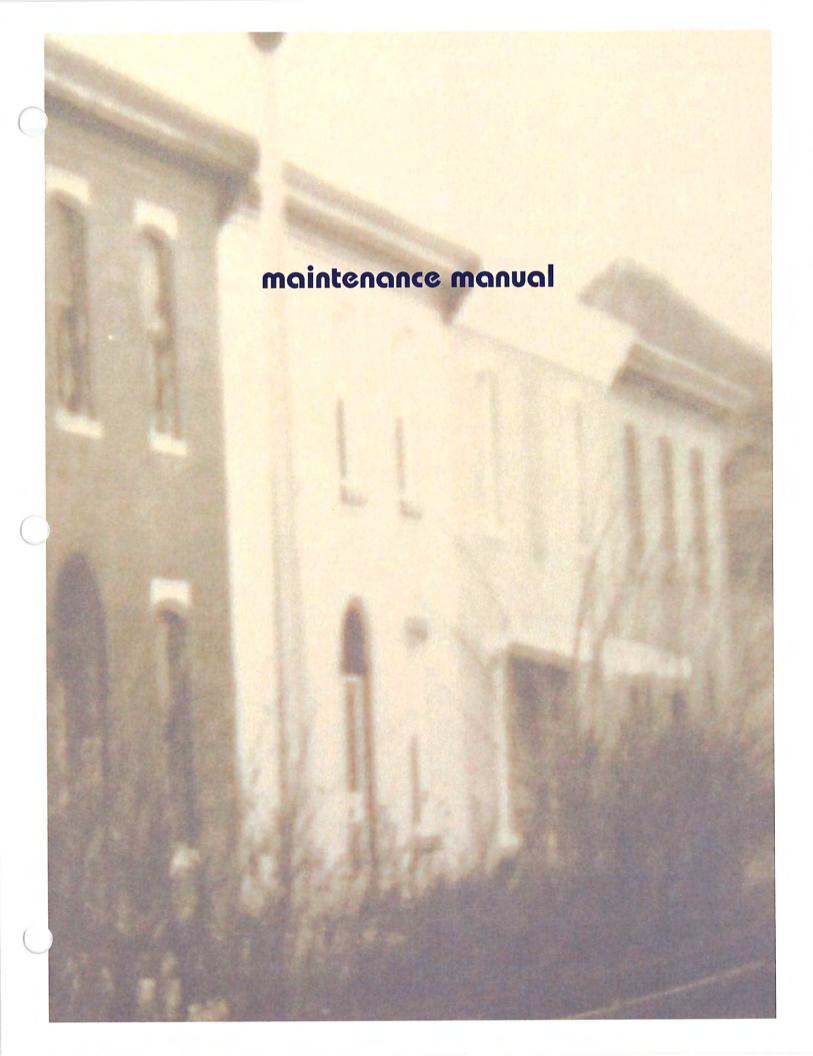
The recent past of this neighborhood was marked by the Crosstown Expressway, which threatened to wipe out the entire area. At the time the area had already fallen into an economic decline and this was only worsened by the threat of complete demolition. The new highway was intended to complete a loop comprised of the Schuylkill Expressway (I-76), the Delaware Expressway (I-95) and the Vine Street Expressway (I-676) around Philadelphia. The Crosstown Expressway was to follow the Washington Avenue Corridor, the

Lombard-South Street corridor or the South Street-Bainbridge Corridor.

These plans were abandoned by the city in 1970s but left drastic consequences on our studio site. The real estate values plummeted forcing many residents to abandon their properties. A slow resurgence to a stable state was attained by the 1990s.

The historical evolution of the Schuylkill-Southwest Neighborhood has shaped the physical environment, which has in turn affected the social atmosphere. As a neighborhood developed on the outskirts of Center City, our studio area exemplifies late 19th century row house speculative development in Philadelphia. These developments have left a distinct imprint forming a patchwork of environs that have contributed to the diversity in the use of space and in the demographics of the area. This area is not only significant for its historic fabric but also because the transition of its social demographics reflects the immigration and emigration patterns of U.S. history.

The slow matriculation of various social, ethnic, age, and economic groups over the past century has contributed to creating a diverse population for which the Schuylkill Southwest is distinguished today. The residents maintain traditional land-use patterns. Although considerable alterations and repairs have affected the original physical fabric of the buildings, the streetscape and pedestrian have been maintained. Alterations, therefore, have been integrated into the space and are part of the evolution of this neighborhood's architectural significance.



arguments for rehabilitation over new construction

introduction

Sound economic decision making plays an integral role in any preservation plan, but especially so in cases where neighborhood revitalization is being proposed and larger scale real estate investment and development decisions are being made. The following six points are some economic arguments which support preserving existing building stock over demolition and new construction. These advantages highlight the short and long-term economic benefits that a neighborhood will achieve by choosing to preserve their built heritage, while wisely managing new growth and development.

cost-effectiveness

Rehabilitating Existing Buildings Is More Cost-Effective Than New Construction

If we directly compare how new construction impacts a locality versus rehabilitation, we see that rehabilitation is dollar for dollar more cost effective. If a community were to choosing spending \$1,000,000 on rehabilitation over spending \$1,000,000 on new construction, the following rewards could be gained:

- \$120,000 more dollars will initially stay in the community with rehabilitation than with new construction.
- Household incomes in the community will increase \$107,000 more with rehabilitation than with new construction.
- Retail sales in the community will increase \$142,000 as a result of that \$1,000,000 of rehabilitation expenditure \$34,000 more than with \$1,000,000 of new construction.
- Real estate companies, lending institutions, personal service vendors, and eating and drinking establishments all will receive more monetary benefit from \$1,000,000 in rehabilitation than from \$1,000,000 of new construction.

In addition, the National Trust for Historic Preservation conducted a study which found that the cost of rehabilitating old structures generally runs 25-33 percent less than comparable new construction, per square foot. If demolition of an older building is required before the construction of a new one, the savings can be at the higher end. The total cost of demolition includes not only dismantling the structure, but also material hauling and dumping fees, plus possible mitigation expenses, in the case where hazardous materials need to be disposed.

construction advantages

Rehabilitation Offers Advantages in Construction

In the case of existing buildings, the main construction advantage is that either some, much or even most of the building is intact. The foundation is already laid and normally stable. Whereas, for new construction, expensive excavation

may be necessary and an entire substructure may need to be reconstructed for a new building. In the case of urban row houses, even a complete shell will usually provide load bearing masonry walls which need minimal reconstruction. These same brick masonry walls would otherwise be extremely labor intensive to replicate. Other structural elements, if no longer functional, can usually be brought relatively quickly up to speed.

In addition to the physical structure itself, often the buildings mechanical infrastructure already exists. When recycling a building, if even some of existing infrastructure, such as water main connections, electricity and phone lines, reusing what is in place reduces the overall construction expense. Often rehabilitating existing structures demands less time under construction and may equate to a quicker turn around time for a developer.

job creation

Rehabilitation Creates More Jobs

In renovation projects, existing materials often simply need to be refurbished, rather than replaced and much of the existing structure and infrastructure may exist and be in fair condition. Therefore, a much greater percentage of the overall expenditure is usually devoted toward labor costs than would be in new construction. This greater labor expense equates to more job creation in the immediate community. Using the comparative example of investing \$1,000,000 in rehabilitation versus new construction, the following rewards could be gained:

five to nine more construction jobs will be created with rehabilitation than with new construction.

4.7 more new jobs will be created elsewhere in the community with rehabilitation than with new construction.

As opposed to materials that may or may not be available locally, it may be less difficult to direct rehabilitation money back into the community by hiring local contractors and laborers. As the Schuylkill-Southwest Neighborhood is located in the heart of Philadelphia urban area, a more accessible labor pool can be tapped into.

ecological advantages

Rehabilitation is Ecologically Smarter than Demolition and New Construction

Attached with new construction are often hidden externalities, which consume a great deal of energy and produce unnecessary. This energy is consumed when the materials are processed, transported materials to a site (often fairly long distances), during installation and will necessitate disposal of waste. Fewer natural resources will be depleted when rehabilitation is chosen and energy will be concentrated on creating jobs in the local labor market. A recent government study found that rehabilitation construction uses 23% less energy than new construction.

In the case where a building exists and must be demolished to build new construction, vast amounts of wastes result. A small fraction of the total building materials are either recycled and reused, if at all; most materials are, by contrast, landfilled. According to anthropologist and "garbologist" W.R. Rathje of the University of Arizona, "Excavation at our last three U.S. landfills documented that [construction and demolition waste] alone was equal to one-third of weight and volume of general mixed refuse."

streetscape and local architecture advantages

Rehabilitation Helps Maintain the Streetscape and Local Architecture

A major historical asset in the Schuylkill-Southwest area is the abundance of individual continuous rowhouse streetscapes. Even maintaining historic shells or facades can preserve that sense of continuity of design. If new construction were to replace historic fabric, it would represent a break in the continuity of the streetscape, even if it were sympathetic with material type and scale of the buildings.

A developer may choose to highlight or use historic architectural features, such as higher ceiling heights or larger spaces, as a selling point to increase housing value. Many of these historic Philadelphia rowhouses were built at a time of superior craftsmanship, where detailing and special features were more affordable to produce. Today, much of this intricate work would be impossible, if not extremely expensive, to replicate. This craftsmanship adds value to a building, especially when the building forms one part of a continuous streetscape pattern.

sense of pride

Rehabilitation Helps Instill A Sense of Neighborhood Pride

Rehabilitation projects are inherently attractive because they show off historic and architectural qualities, not simply of the building itself, but of the entire community. Rehabilitation schemes usually include less public opposition than when demolition is proposed, which may leave open "holes" in a block's streetscape for extended periods of time. Furthermore, rehabilitation campaigns help to provide the whole community with a sense of pride, that everyone is working toward a worthwhile effort to improve their neighborhood from within. Such an effort often creates a cohesiveness, bringing different people in a neighborhood together for a common goal. Restoring historic fabric also provides the community with a sense of their own history and a continuous link to the neighborhood's history. Finally, the proximity of Schuylkill-Southwest to Center City may help the neighborhood profit economically, acting as a corridor to other more developed and established parts of city.

secretary of the interior standards for rehabilitation

introduction to the standards

The Secretary of the Interior is responsible for establishing standards for all programs under Departmental authority and for advising Federal agencies on the preservation of historic properties listed in or eligible for listing in the National Register of Historic Places.

The Standards for Rehabilitation (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) addresses the most prevalent treatments. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

USC

Initially developed by the Secretary of the Interior to determine the appropriateness of proposed project work on registered properties within the Historic Preservation Fund grant-in-aid program, the Standards for Rehabilitation have been widely used over the years--particularly to determine if a rehabilitation qualifies as a Certified Rehabilitation for Federal tax purposes. In addition, the Standards have guided Federal agencies in carrying out their historic preservation responsibilities for properties in Federal ownership or control; and State and local officials in reviewing both Federal and nonfederal rehabilitation proposals. They have also been adopted by historic district and planning commissions across the country.

intent

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompasses the exterior and interior of the buildings. They also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified for Federal tax purposes, a rehabilitation project must be determined by the Secretary to be consistent with the historic character of the structure(s), and where applicable, the district in which it is located.

repairs / alterations As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character. For example, certain treatments—if improperly applied—may cause or accelerate physical deterioration of the historic building. This can include using improper repointing or exterior masonry cleaning techniques, or introducing insulation that damages historic fabric. In almost all of these situations, use of these materials and treatments will result in a project that does not meet the Standards. Similarly, exterior additions that duplicate the

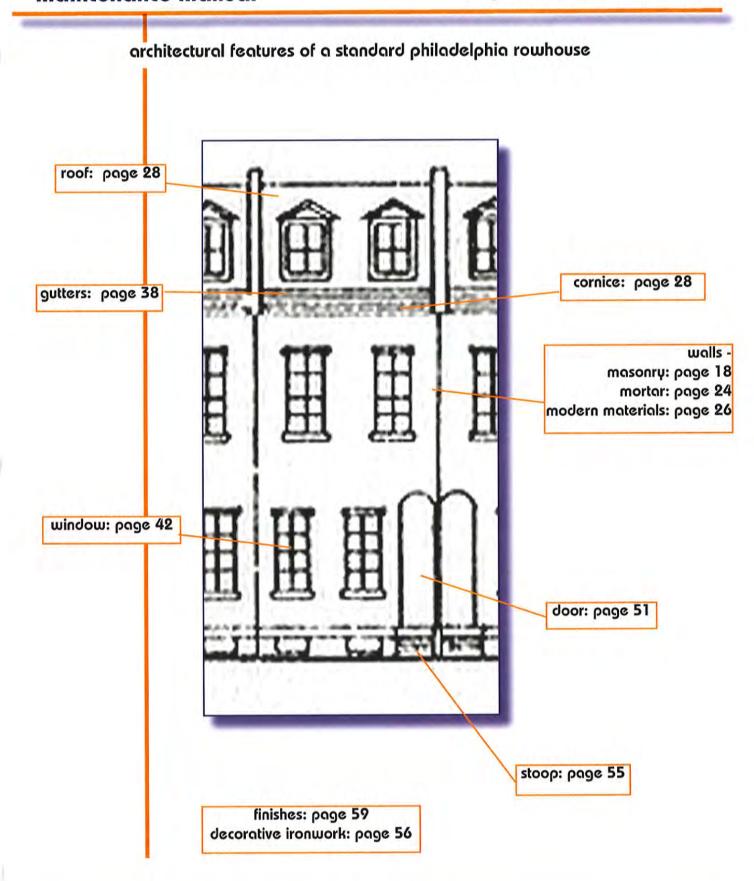
form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will fail to meet the Standards.

standards for rehabilitation

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



general maintenance tips

The following is a simple general maintenance plan to be carried out twice a year:1

- Roof: Check the roof and around vents, skylights, and chimneys for leaks. Make repairs as necessary.
- Attic: In the fall, close vents to conserve heat. In the spring, open vents for proper ventilation.
- Gutters: Clean gutters and drain pipes so leaves don't clog them and make sure water drains away from the house.
- Fireplace: Clean fireplace of ashes. In the fall, check the chimney for loose or missing mortar. Have the chimney professionally cleaned and make sure the damper closes tightly. In the spring, leave the damper open for better ventilation if the home is not air-conditioned.
- Filters: Clean or replace filters once a month, or as needed. Check and clean dryer vent, air conditioner, stove hood, and room fans. Keep the heating and cooling vents clean and free from furniture and draperies.
- Safety Equipment: Make sure that all smoke detectors, carbon monoxide detectors, and fire extinguishers are in good working order. Replace batteries in appropriate devices as needed, or at least twice each year.
- Refrigerator: Make sure the refrigerator door seals are airtight. Test them by closing the door over a dollar bill. If you can pull the bill out easily, the latch may need to be adjusted or the seal may need to be replaced. Also, if you have a coil-back refrigerator, vacuum the coils at least twice each year. The refrigerator will run more efficiently with clean coils. Also, a full refrigerator uses less energy than an empty one.
- Faucets: Check for leaky faucets in kitchen and bathroom(s). Replace washers as necessary.
- Windows and Doors: Seal drafty doors and windows.
- Storm Windows and Screens: In the fall, take down screens, if they are removable, and replace them with storm windows. In the spring, remove, clean, and store storm windows, if they're removable. Check and patch all door and window screens. If the screens could be removed, put them back up.

- Siding and Paint: Look for cracks and holes in house siding or paint. Replace caulk if necessary. A carpet knife can work well for cutting away old caulking from house siding. Slice down alongside it from both directions with the hook-like blade, and then use the knife to lift out the old caulk bead intact.
- Basement: Check basement walls and floor for dampness. If you have a dehumidifier, clean it regularly.
- Heating System: In the fall, have the heating system serviced and change the filters.
- Hot Water Heater: In the fall, drain the hot water heater and remove sediment from the bottom of the tank.

footnotes

 "Bob Villa's Home Maintenance Checklist," http://www.bobvilla.com/ArticleLibrary/Subject/ Roofing/Gutters_and_Downspouts/TopToBottomChecklist.html.

walls, masonry

introduction

The walls of a building serve many purposes. The walls are the outside representation of the character of the building. The walls of each region and period in history have unique characteristics. Through building style, choice of materials, shape, and size, the walls give a building its historic context. Beyond the aesthetic values, the walls are a physical barrier. They keep the weather and unwanted animals out, and they give security to the occupants. The walls insulate the interior to the temperature and noise of the outside. Perhaps most important to the building, the support of the floors and roof is given by the walls. The walls are built of hard, rigid materials that form the framework for the floor joists and the roof beams. It is easy to see why it is extremely important to maintain wall materials.

Each material used imparts a unique set of characteristics, and requires specialized care. The most common wall materials are described below.

bricks and terra cotta

bricks and terra cotta: description

Bricks are one of the most common forms of masonry composing the walls in the Schuylkill-Southwest neighborhood. They are both a structural element which supports the building and a barrier which keeps the elements outside. Bricks are ceramic units made of clays which are either formed by hand packing in molds or extruded by machine and cut into their final shape. The bricks are allowed to dry, and are then fired at high temperatures until they become very hard.

Generally, bricks are very durable and strong, but differences in manufacturing practices, especially through changing technologies, create great variance in the performance of bricks produced at different times or locations. Older bricks produced until the late 19th century were formed by hand in molds, and uneven firing in kilns produced bricks of varying quality. Newer bricks made by extruding the clay mixture and firing in a more consistent manner are more uniform than the older bricks, and their durability more reliable. The durability of even the best bricks changes as they age. They become more porous, weaker, and easier to damage. It is important to treat old bricks with care.

Like brick, terra cotta is a fired ceramic building material. It is also made from clays, but pre-fired materials called grog are also added to the mix. The grog causes the terra cotta to shrink less as it is fired, so elaborate designs could be specified with accurate dimensions. Terra cotta is often molded and colored to look like stone, and while it can be a load-bearing element, it is often decorative. The pieces are often either glazed or coated with a matte slip, giving it an additional protective coating.

bricks and terra cotta: common problems Although bricks are strong and can support many stories of a building, they are a brittle material that can crack easily under stress and break with impacts. As a building settles, either after its initial construction or due to a change in the foundation it sits on, cracking through the bricks and their mortar joints can occur. Impacts by hard objects such as vehicles can fracture bricks. Because of firing, bricks have a durable skin, but if this is damaged by cracking or breakage, moisture can more easily enter the body of the brick.

Once moisture has entered the bricks, they are vulnerable to damage from the freezing and thawing of the water in the small pores of the brick. As the water freezes, it expands causing cracking in the brick. These small cracks allow further moisture into the brick once the temperature warms, and the added moisture freezes to expand the cracks further. This cycle will continue until either the source of water is blocked or the brick falls apart. Moisture trapped within the bricks can also carry salts which cause similar damage. As the water evaporates, the salt remains in the brick, forming crystals that deteriorate the brick in a way similar to freeze/thaw deterioration. Damage to masonry from freeze/thaw or salt deterioration can appear as pits in the masonry face.



brick damage: these bricks are located under a leaky gutter, the increased moisture has caused the brick faces to crack off (UPenn 2003)



stress crack: this crack is not only a way for water to get into the building, it can also be a sign of more serious structural damage (UPenn 2003)

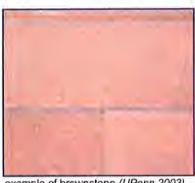
Terra cotta acts much like bricks in the ways it deteriorates, but in addition to the deterioration methods noted above for bricks, terra cotta may also have problems with its glaze. Problems in the manufacturing of terra cotta can cause the glaze to blister or flake off. Similarly, freeze/thaw damage can cause small pits where the glaze and some of the terra cotta body pop off. These small flaws can be fixed using masonry paint. A more serious problem is the decay of the metal pins which support some terra cotta pieces. These are usually pieces that project out from the walls, but in some cases, entire walls are composed of hung

terra cotta. If the pins corrode, there is the danger of the terra cotta piece falling off of the building. Terra cotta pieces that project out from the building such as cornice pieces should be carefully inspected regularly, especially if they become cracked or broken.

brownstone

brownstone: definition

Brownstone, the common name for brown sandstone, has been used as a decorative building material in the United States since the 17th century. The stone, valued for its dark colors, often a rich reddish-brown to purplish-brown hue, became a popular building material in the late nineteenth century, especially throughout the northeastern part of the United States. Although used for window sills, lintels and other decorative elements, the material is best known through its use as a veneer on many nineteenth-century rowhouses.



example of brownstone (UPenn 2003)

Brownstone is classified as a sedimentary rock which was formed by the accumulation of sand, clays and other materials in seabeds, lakes and rivers. Over time, geological processes compressed these beds into consolidated stones composed of multiple layers or bedding planes. Clay is the most common binding material for brown sandstone, although silica, calcite, and iron oxides are also possible sandstone binders. Most brownstones are fine-grained and eventextured and contain fine, angular quartz grains within the binder. They are also relatively soft and porous.

brownstone: common problems

Brownstone often deteriorates more quickly than other stones because of its relatively high permeability and porosity. These qualities allow greater water penetration and make the stone more susceptible to weathering and deterioration, especially through free-thaw cycling. Once water is present in the brownstone-either in the pores, cracks or channels of the material- the clays binding the particles together swell. The material becomes soft and friable and the moisture trapped by the clay binder between the bedding planes cause the surface material to flake or spall off the stone. The deterioration may be especially severe when the sandstone has been face-bedded, meaning that the stone has been laid perpendicular to the natural direction of its bedding plane.

In addition to surface erosion and friability, brownstone's relatively high intrinsic and microcrack bedding permeability also makes the material susceptible to weathering by atmospheric pollution. Brownstone is also susceptible to salt crystallization attack.

serpentine

serpentine: definition

Serpentine stone is named for its supposed resemblance to the skin of a serpent. A high mineral content gives this stone a green color that is sometimes mottled, streaked and banded with blacks, reds, green grey, and whites. Because of its beautiful texture and color, Serpentine is frequently used as a veneer for buildings.



example of serpentine (UPenn 2003)

serpentine: common problems

Because it is relatively soft, Serpentine is prone to weathering and deterioration caused by staining. Additionally, presence of the calcite and magnesite

veins make the stone extremely susceptible to corrosion by atmospheric moisture and gases.

granite

granite: definition

Granite is a compact, crystalline rock with a generally uniform structure. The stone is capable of taking a high polish and ranges in color from white to grey to pink, with some instances of red, yellow and brown. Granite has a low porosity and permeability and is valued for its high resistance to weathering and corrosion. In the eastern United States, granite is found along the eastern edge of the Appalachian Mountains.



example of granite (UPenn 2003)

granite: common problems

Because the type of granites typically used for buildings have such low porosities, they are less susceptible to frost attack than other stones such as brownstone. However, granite may become more brittle in colder temperatures increasing the risk of cracking. In addition, some loss of material may be caused by natural erosion through wind and rain.

marble

marble: definition

Marble is a compact limestone capable of being polished and used for architectural and ornamental purposes. The wide range of colors, including white, black, grays, yellows, reds, and greens, are often beautifully veined or clouded.

marble: common problems

Deterioration of marble is caused by three main factors: deterioration from acids found in the air and rain such as sulphur dioxide produced by the burning of coal, the effects of frost or the freeze/thaw cycle, and the effects of salts.

maintenance of masonry

Care should be taken when cleaning masonry surfaces, especially friable ones such as brownstone and serpentine. Abrasive cleaning methods, such as sand blasting, high-pressure water washing (above 100 psi), and the use of wire brushes and power sanding tools, will often remove the protective outer layer of the masonry. Without this protective outer layer the material will experience increased water permeability and deterioration. Abrasive cleaning may also lead to accelerated mortar loss.

Gentle methods should be used to clean masonry, such as a low-pressure water wash with a natural bristle (non-metal) brush. This cleaning should be carried out in warmer months, where there is little chance of frost. Water and soft brushing should gently remove areas of soiling without harming the surface of the masonry.

Before cleaning, masonry surface cleaning tests should be carried out to determine the most appropriate and gentlest cleaning method. Masonry surfaces should not be cleaned if they are not heavily soiled. Unnecessary cleaning may introduce moisture and chemicals into the masonry and increase the risk for deterioration.

Replacement, consolidation and composite repair are common options for preserving deteriorated masonry. These techniques should be carried out by historic preservation professionals. It is important to remember that any removal and replacement of material should involve a close matching of the material to the original in terms of color, texture, and chemical properties.

Masonry walls should be closely examined for mortar joint deterioration, such as disintegrating mortar, cracks in the mortar joints or loose bricks and stone. Any repointing of the joints should match the old mortar in craftsmanship, strength, composition, color and texture. (Please see the section on MORTAR for more information.)

Recommended	Not Recommended
Routinely examining masonry for cracks, loss, or other signs of deterioration.	Ignoring cracks, holes, plant growth, or other signs of deterioration.
Cleaning masonry surfaces with the gentlest method possible, such as low pressure water washing or scrubbing with a soft brush, only when needed. Cleaning during seasons when freezing temperatures are least likely.	Cleaning by sandblasting, high power water wash (above 100 psi), scrubing with a wire brush, using harsh chemicals or cleaning masonry more often than is necessary.
Maintaining proper drainage off of roofing and around the base of the building.	Allowing water to run down the face of the building, or collect around the base of the wall.
Repointing missing or damaged mortar joints with an appropriately compatible material.	Delaying maintenance of mortar joints, or replacing with a material that is too hard, a different color, a different width, or otherwise dissimilar from the historic material.
Preserving deteriorated masonry through replacement, consolidation or composite repair performed by qualified preservation professionals.	Removing masonry that could instead be stabilized, repaired and conserved or using untested consolidants and untrained workers.

footnotes

1. Cowan, Henry J. and Peter R. Smith. The Science and Technology of Building Materials. New York: Van Nostrand Reinhold Company, 1988, p. 140.

walls, mortar

mortar: definition

The mortar used in masonry joints not only holds the masonry together, but also keeps liquid water out of the walls, acts as a flexible joint, and allows absorbed moisture to evaporate. Historically, mortar was made of lime, sand, and various additives depending on the type of mortar needed. More recently, mortars have been made using cement. Compared to lime-based mortars, those made with Portland cement are much harder and less breathable.

mortar: common problems

In older buildings, it is important that the mortar be softer and more breathable than the masonry that it surrounds. All masonry, whether stone, brick or terra cotta, experiences slight movements every day, from the settlement of the building, and from expansion and contraction due to daily heating/cooling or swelling from moisture absorption. Soft mortar has the benefit of allowing the masonry to move without breakage. If the mortar is harder and stronger than the surrounding masonry, the masonry will break over time. Weaker mortar will break, but it is much easier, and less expensive, to replace the mortar than the masonry.

In addition to being excessively hard, cement-based mortars do not breathe as well as softer lime based mortars. This lack of permeability can trap moisture in the masonry units fostering many causes of deterioration.

Mortar will deteriorate in a way similar to masonry, as described above. It will break apart because of freeze/thaw or salt damage. It will crack through movement in the building. However, if mortar is maintained through proper methods, the life of a masonry wall can easily be lengthened.



open mortar joints (UPenn 2003)



improper re-pointing: the new mortar on the left is a different size, color and composition than the original mortar on the right (UPenn 2003)

maintenance of mortar

Recommended	Not Recommended
Inspecting mortar periodically for signs of deterioration.	Allowing mortar to deteriorate, forming cracks or holes between the masonry.
Cleaning the mortar with the gentlest method possible, and only when needed, during seasons when a freeze is least likely.	Cleaning mortar with abrasives or harsh chemicals, or more often than needed, or when freezing temperatures are likely.
Removing deteriorated mortar with appropriate hand tools.	Removing mortar with power tools.
Repointing only what is necessary, and only with an appropriate material.	Repointing the entire wall, or repointing with a material that is too hard, a different color, a different width, or otherwise dissimilar from the historic material.

footnotes

1. Cowan, Henry J. and Peter R. Smith. The Science and Technology of Building Materials. New York: Van Nostrand Reinhold Company, 1988, p. 142.

walls, modern materials

vinyl and aluminum siding

vinyl and aluminum siding: definitions Vinyl/Aluminum siding consists of interlocking panels of polyvinyl chloride or enamel-coated aluminum and can be used to cover various portions of a building. Panels are manufactured in a variety of lengths and widths and are usually secured to the building by nails.

vinųl and aluminum siding: common problems

Vinyl and aluminum siding are often used because they are believed to be long lasting, maintenance-free materials. However, the use of siding on an historic building can be problematic for several reasons. Firstly, because siding is nailed directly into a building, installation can cause irreversible damage to the historic building materials. Secondly, although vinyl and aluminum are indeed durable materials, they too have limitations. Aluminum can dent on impact, vinyl is susceptible to cracking at low temperatures, and, once installed, neither material is easy to repair. More importantly, because vinyl and aluminum siding are sold as "home improvement" items, they are often used on buildings that are in need of repair, concealing problems rather than addressing them. Covering a badly deteriorated wood cornice with vinyl/aluminum siding, for example, will not prevent further damage because the root cause of problem (such as a leaky roof) has not been resolved. Furthermore, the installation of siding may actually make the problem worse by trapping water and accelerating deterioration. Lastly, manufacturer's warranties generally do not cover any damages caused during contractor's installation.



aluminum siding on cornice (UPenn 2003)

original wood cornice (UPenn 2003)

formstone

formstone: definitions

Formstone, or permastone, is a simulated masonry product produced by pulverizing stone into a powder, sometimes adding pigment, mixing the stone powder with lime and water, and pressing the mixture into molds. It used most commonly used as cladding to a building's façade, often covering original historic brick or stone façades.

formstone: common problems

The problems with formstone are similar to those of other cladding materials. If water can get behind the cladding it will deteriorate the material underneath and the support system used to attach the veneer, which may eventually cause the formstone to separate from the façade. Pigmented formstone will often fade with exposure to ultraviolet light. It can also gather dirt and stain.



formstone and vinyl siding (UPenn 2003)

maintenance of modern materials

Although modern siding materials can give a remodeled appearance to a building, their use obscures the original materials and features of a building, which compromises the historic character of both the building and the overall streetscape. For these reasons and because modern siding materials can cause serious damage to an historic building, their use is not recommended. If these materials are already in place and serious repairs are necessary, consideration should be given to removing the modern siding and repairing the original materials. (Please see the section on MASONRY for more information.)

drainage systems

roof

A weather-tight roof is essential in the existence of a house. The roof sheds rainwater, shades from the sun, and shields against the weather. Both complex and simple roof structures are incredibly vulnerable and will ultimately fail and need to be replaced. Proper maintenance can extend the service life of a roof.

roof: definitions

Roof – A roof is the external upper covering of a building, including the frame that supports the covering.

Roof Frame - The interior wood structural beams that support the roof.

Sheathing – Boards or panels fastened to the frame of a wall or roof as a base for roof covering.

Flashing – Pieces of non-corrosive metal used around wall and roof junctions, angles, chimneys and vent pipes to protect the joints from rainwater and directs it toward the eaves, gutters, and downspouts. Good tight flashings around chimneys, vents, skylights, and wall or roof junctions can prevent water from entering a home and damaging walls, ceilings, insulation and electrical systems. Roofing cement is commonly used to seal the flashing to the surface. Typical materials used are copper, aluminum, zinc, galvanized steel, fiberglass and plastic. Heavy-gauged galvanized sheet metal is most common today. If properly maintained, the flashing can last the lifetime of the roof.

Cornice: A molded projection at the top of a building where the exterior wall and roof meet. Cornices are not only a decorative feature that can contribute

the aesthetic character of a building, but also serve to protect the building's exterior façade from water damage. While cornices can be constructed of a variety of materials including brick, terra cotta, and stone, the majority of cornices in the Schuylkill Southwest neighborhood are made of wood carved with decorative motifs. These wood elements, therefore,



wood cornice (UPenn 2003)

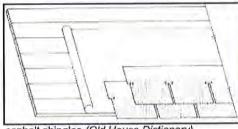
deteriorate in the same manner as the wood windows and doors.

Roof Covering - The protective covering that forms the exposed surface of the roof. They can include various materials:

Asbestos Shingles - Stiff, durable shingles made of asbestos fiber and Portland cement.

Asphalt Shingles - Shingles made of heavy asbestos or rag roofing felt saturated with asphalt and coated with mineral granules. The material has been used since the 1890s and since the early 20th century has become the most common roofing material in America due to its low cost, easy installation, fire resistance, and variety of colors and textures. There are two types

of asphalt shingles: fiberglass and organic-mat. Fiberglass shingles use fiberglass as a reinforcing mat, they are thinner, lighter and have a better fire rating. Organic-mat shingles use a cellulose-fiber mat; they are tougher and stay more flexible in cold weather. Both types are covered with an aggregate to give the shingles added

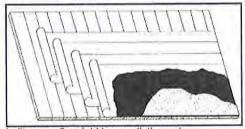


asphalt shingles (Old House Dictionary)

weight and protect them from the sun. The shingles usually last from 20 to 40 years; however premium shingles (thicker and heavier) are warranted to last 30 to 40 years.

Built-Up Roofing (Composition Roofing, Membrane Roofing) - A roof covering

for flat roofs made up of alternating layers of saturated felt and a tar-like substance (such as asphalt, pine pitch, tar and coal tar). The roof is usually finished with a coat of sand or gravel.



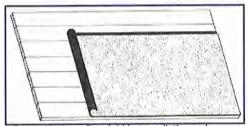
built-up roofing (old house dictionary)

Metal Roofing (Sheet Metal Roofing) - Metal roofing made of tin-plate, ternepate, copper, zinc, lead or galvanized iron (corrugated steel roofing).

Metal Shingles - Shingles made of sheet metal.

Rolled Asphalt (Roll Roofing, Asphalt Prepared Roofing, Rolled Strip Roofing)

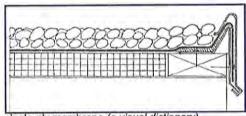
- Used since the 1890s, one layer of asphalt-saturated organic fiberglass base felts applied over roof felt with nails and cold asphalt cement. It's usually covered with a granular mineral surface. The seams are covered with a roofing compound. The material usually lasts about 10 to 30 years.



rolled asphalt roofing (old house dictionary)

Single-Ply Membrane - The newest type of roof covering is often used to replace

multiple-ply roofs. The products, modified bitumen. rubberized asphalt, elastomeric membranes such as EPDM and PVC sheets, are self-adhered or applied to the sheathing with hot asphalt. It usually lasts 10 to 12 years.



single-ply membrane (a visual dictionary)

Slate Shingles - Shingles made of cut slate. Slate shingles have been used in the United States since the 1600s. The material has been popular for its durability, fireproof qualities and While initially aesthetic appeal. expensive, they are among the most durable shingle material and

can last up to a hundred years.



slate shingles (Old House Dictionary)

Aluminum and Vinyl Siding - Aluminum siding has been used at times to cover the mansard roof of some houses. (For more information on these materials refer to WALLS: MODERN MATERIAL)

roof: types

Within the Schuylkill-Southwest Neighborhood there are three different types of roofs on the houses.

Flat Roof - A roof with only a very slight pitch. One or more layers of water repelling

material are put over a deck with a vapor barrier in between. Water is directed to drains, downspouts, and gutters by the slight pitch of the roof. This is the roof type on the majority of rowhouses.



flat roof (UPenn 2003)

Mansard Roof – A roof with a steeply sloped lower section and a shallow sloped upper section. In rowhouses, the mansard roof is at the front of the house with the flat roof extending behind it.



Gable Roof – A roof that slopes downward from a central ridge.



mansard roof (UPenn 2003)

roof: common problems

The National Roofing Contractors Association has specified 7 roofing enemies: Sun: The heat and ultraviolet rays can cause the roofing materials to deteriorate

over time,

Rain: Water can get into small flaws within roofing materials. It can cause rot in the wood roof structure. Moisture related to this water can cause mildew and rot among other elements within the house (including walls, ceilings, insulation and electrical systems),

Wind: Persistent winds can lift up the edges of roof coverings, allowing water and debris to enter,

Snow and Ice: Melting snow can accumulate and become ice at the roof's edge, blocking the proper drainage. With the drainage system blocked, water is forced under roofing material and into the house. Ice forming in gutters and downspouts can increase the weight beyond the material's capacity, forcing it away from the house,

Condensation: Condensation results from a buildup of warm, moisture-laden air. Improperly ventilated attic allowing moisture to accumulate, which can cause the wood roofing structure to decay,

Moss and Algae: These vegetations can grow in particularly moist areas of the roof, causing more moisture to accumulate possibly causing rot of any wood elements,

Trees and Leaves: Long branches of trees close to the house can scratch, gouge, and even puncture roofing material. Leaves and twigs can build up on the roofing material (increasing the moisture in particular areas which can cause rot) and in gutters (preventing proper drainage).

maintenance, repairs and replacement for roofing

Because of the height and somewhat precarious nature of the roof, utmost caution must be taken in doing any inspections, maintenance and repairs. This is true with all roof types, especially those with a mansard front because of its steeper slope. The only time the roof should be accessed is when the surface is dry. A couple of points that may be useful on the roof are to wear soft-soled, slip resistant shoes and gloves when cleaning debris to protect hands from roofing nails. When on the roof, be aware of your surroundings, especially of electrical cables, mechanical equipment, skylights and other openings. Do not step on any blisters, ridges or edge flashing.

roof: maintenance

The maintenance of the roof is pivotal in protecting and adding to the overall value of a house. Roof leaks start out small, but if they are not repaired they will cause major problems, which leads to major repair costs. A regular maintenance schedule will keep you on top of any problems. Unfortunately because of the nature of rowhouses, the roofs are predominantly flat, preventing cursory inspections from the ground with binoculars. Gutters should be cleaned of debris twice a year (in the spring and fall), providing the perfect opportunity to inspect and maintain the roof covering, flashing and drainage system for flaws.

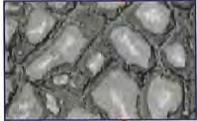
roof: common problems

In inspecting the roof there are certain things that should be looked for:



ponding (EHSO, inc)

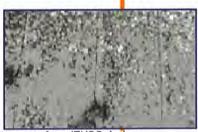
- Sags: Indicate that the strength of the supporting beams in that area are weakening or failing. If this is not addressed, water and debris will pool in the area, creating small ponds, increasing the weight that the beams must support and continue to weaken them, until eventually they collapse.
- Roof surface problems such as alligator cracking, worn surfaces, blisters, open seams, tears, visible cracks, ridging or other holes, and loose surfaces or fasteners.



alligator cracking (EHSO, inc)

 Alligator cracking is a scaled appearance when the topcoat loses its bond to the underlying material.

maintenance manual



worn surface (EHSO, inc)

Worn surface is a loss of aggregate from wind and water erosion.



blistering membrane (EHSO, inc)

Blistering of the membrane is round or elongated raised areas that are filled with air. These are caused by moisture trapped between two impermeable layers; the moisture expands from rising temperature creating a void.



tear through roofing felt (EHSO, inc)

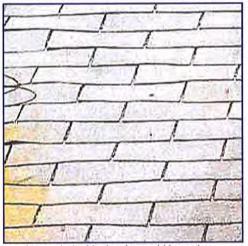
Tears can occur through the roofing felts for many reasons; the membrane is too weak, there is a poor attachment between the membrane, insulation, vapor retarder or sheathing, there is differential movement at sheathing joints, and there is structural movement of the roof system.



ridging (EHSO, inc)

- Ridges are long, narrow, raised areas of the roof that usual occur over insulation board joints. They can be caused by internal moisture accumulation at the joints or movement of the boards.
- Bent, rusted, buckled, or cracked flashing and failed caulking at joints (and corresponding water damage inside): There must be good, tight flashing around chimneys, vents, skylights and wall/roof junctions. Check caulking and sealants on flashings and copings.
- Cracking, missing, flaking and staining on shingles: Significantly weakened shingles can be easily ripped away by wind. When shingles are weakened, cracked or missing in any way, the roof structure becomes more vulnerable to water. This may result in the rotting of the wood roof structure and water damage to the structure and in the interior. Look for erosion and cupping of asphalt shingles, especially at the ridges, hips, and edges. Loss of granules and cupping indicate that the roof needs replacement; if loss of aggregate isn't obvious right away, there will

probably be a build up of it in the gutter.





warping asphalt shingles (your old house)

stained and missing slate shingles (UPenn 2003)

- Check seams of Single-Ply Roofs.
- Areas of the roof that look dirty.
- Vegetation and debris

Particularly dangerous spots that require special attention are near roof plates, under exterior patches and at intersections of the roof planes (such as at dormers); these areas are more likely to see water penetration. Masonry problems on parapet walls and chimneys, such as deteriorated mortar joints, brick, and coping stones are an indication of water infiltration. There will also be interior indications of roof problems, including:

- Leaks in the attic when it is raining, snowing or icing outside
- Blistering or peeling paint on ceilings
- Water stains on plaster ceilings and walls
- Low energy efficiency in the house

When maintaining the roof, remove debris such as leaves and tree limbs. Overhanging vegetation should be trimmed back. Any loose equipment panels, piping and covers should be re-secured and pitch pockets should be refilled to the proper level (A pitch pocket is a piece of flashing placed around an irregularly shaped roof penetration and sealed. They are a good source of leaks and should either be avoided or kept filled with a sealant.) Any vegetation on the roof must be removed. Metal flashing should be re-painted every 5 years with a rust-resistant paint.

Roof leaks may start out small but if not repaired they can cause major damage, increasing the repair costs. With multiple-ply or built-up roofing, aggregate covers the membrane which can make inspecting and maintaining the seams difficult.

roof: repairs

Alligator Cracking/Bare Spots: Slightly deteriorated areas of the flat roof include the loss of protective surface from weathering. These may all be repaired. The surface should be cleaned of grime and loose aggregate, primed and resurfaced with a compatible material (such as an asphalt emulsion or aluminum coating).

Replacing Aggregate on a Multiple-Ply or Built-Up Roof: 1

- 1. Clean the bare spot with a broom or wire brush.
- 2. Remove all loose dirt.
- Spread a thin layer (1/8" thick) of asphalt roof cement over the bare area
- Gather loose aggregate from other areas of the roof and embed it in the roof cement.

Blistering: Intact, small blisters can be left alone. Larger blisters should be removed and repaired.

Tears: For permanent repairs, the cause of the split must be identified. To repair tension splits from the contraction of poorly attached elements, fasteners can re-attach the material. When the splitting was caused by structural faults, expansion joints to the areas should be installed.

Patching a Flat Roof: 2

- Brush the entire area clean; then cut out the damaged section of roofing with a utility knife. Use this piece as a template to cut a piece of asphalt-saturated cotton fabric 2 inches wider on all sides than the damaged area.
- Apply roofing cement to the exposed area with a putty knife. First
 work the adhesive under the cut edges with the putty knife, and
 then coat the center section generously.
- 3. Place the patch on the exposed area and smooth it down. Apply roofing cement over the patch, spreading the cement 2 inches beyond the edges.

Ponding: If the ponding remains after removing debris from the drainage system, a professional should be contacted to install additional drains, repair the structural system or increase the slope of the roof.

Ridges: If the damaged area is restrained, it can be cleaned and recoated to prevent further ridging. If the ridging is more widespread, the areas should be monitored the material may need replacing.

footnotes

1. "Preventive Maintenance." http://www.roofhelp.com

Flashing: Failure of the flashing system will cause major deterioration of the house; so early detection is key in prevention. Often, the repair or replacement of flashings is all that is needed to make a roof airtight again. Metal flashings corrode, rust, and otherwise deteriorate to a point where they can leak. The replacement of flashing is a major undertaking because it may require taking up large portions of the roof; a professional should be contacted for this work and only top quality products that are compatible with the existing roofing material should be used.

Cleaning Flashing: 3

- Remove rust with a wire brush.
- Prime and paint the metal with rust-resistant paint.

Replace Weather-Cracked or Damaged Caulking and Sealants: 4

- 1. Scrape and remove caulking or sealants.
- Clean area thoroughly (use wire brush if necessary).
- 3. Reapply caulking.

roof: replacement In replacing materials, the more durable the surface to begin with, the easier it will be to maintain. This may lead to the use of more expensive materials that result in little maintenance requirements and long term durability (such as slate shingles). If replacement of particular elements or the entire roof is needed, the area(s) should be temporarily stabilized while contractors are researched and contacted. This is to prevent any further damage until the repairs or replacement can be completed.

Temporary stabilization can include a simple covering of plywood or rolled roofing, which will temporarily provide adequate protection. Whatever material is used, it is essential that the material not add too much weight and that it is removable (for example, caulk and bituminous patching cannot be removed and shouldn't be used for this purpose)

Shingles: When shingles deteriorate, crack, loosen or fall off, they need to be replaced. Only skilled contractors should replace these shingles. Slate shingles should be replaced with good quality slate shingles (given their high degree of durability). Only an experienced slate worker should deal with the shingles.

Weathering from rain and sunlight gradually causes the aggregate to erode and the edges to curl, indicating that the material is reaching the end of its service life. Asphalt shingles should also be replaced with the same material. While slightly more expensive, asphalt shingles that meet industry-manufacturing standards will last longer than cheaper, low-grade shingles. Fiberglass shingles are tested

footnotes

- 2. "Repairing Rolled Roofing." and "Patch a Flat Roof." http://homerepair.about.com
- 3. "Preventative Maintenance." http://www.roofhelp.com
- 4. Ibid.

against a standard called ASTM D-3462 and organic-matt shingles are covered by ASTM D-225. Shingles that have passed these testing requirements will have an approval on their packaging.

If your house has asbestos shingles and they are damaged, an asbestos roofing contractor must be contacted. The asbestos can be sealed (to bind the asbestos fibers together or coat them so that the fibers will not be released) or covered (perhaps with polystyrene-foam insulation panels). The final choice is the complete removal of the asbestos shingles.

Materials not typically used as shingles, for example aluminum or vinyl siding and asphalt rolls, should be replaced by a different, more appropriate material. The use of aluminum or vinyl siding leaves many areas prone to water intrusion. Once under the sheathing, the water has no way out other than into the house where it will cause damage. Asphalt rolls are not meant to work on the curved surface of mansard roofs. The material will weaken and allow water to intrude, causing deterioration to the interior and structure.

gutters and downspouts

gutters and downspouts: definitions

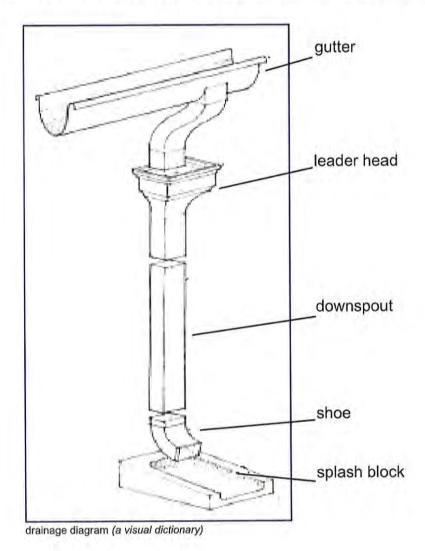
Roof Drain – A drain that receives water collecting on the roof to discharge it into a downspout.

Gutter – A channel of metal or plastic at the eaves or roof of a house to carry rainwater to downspouts and away from the building. The materials used for gutters are generally, vinyl, aluminum, copper, steel and wood. Built-in gutters can last 60 to 100+ years; hanging gutters usually last 20 to 30 years; steel gutters can last 50 to 100 years (enameled steel gutters require repainting every 5 years.)

Leader Head - The boxlike head of a downspout connected to the gutter.

Downspout – a vertical pipe to carry rainwater from the roof or gutter to the ground.

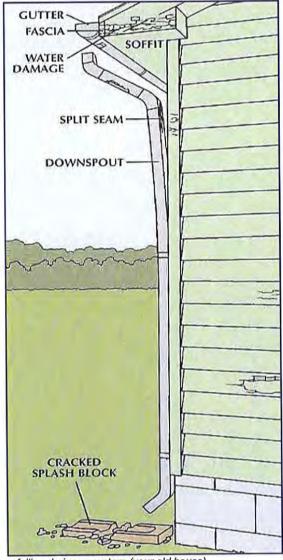
Shoe – The curved base of the downspout to direct the flow of rainwater.



gutters and downspouts: common problems The drainage system should be examined twice a year, either from on the roof itself or from the ground with binoculars. Things to look for include:

- Clogged gutters and downspouts from debris
- Corrosion on metal gutters, especially at the joints and the bottom where leaves may collect
- Disconnected downspout or separated seam on the downspout. This
 is usually caused by the clogging of the pipe, water build up and then
 freezing (therefore expanding) of the water.
- Gutter pulling away from the house. This may be caused by excessive accumulation of debris and ice in the gutters. This increased weight weakens the gutter hangers until they cannot support the system.

If a problem is discovered in the drainage system, check the surrounding surfaces for signs of water damage; for example peeling paint and staining.



maintenance and repairs for gutters and downspouts

gutters and downspouts: maintenance

Gutters need to be cleaned of all debris twice a year because debris builds up. Gutters can overflow if clogged with debris or leak through pinholes from corrosion. When the water cannot drain properly it seeps under the roof covering and causes fasteners, sheathing and the actual structure to deteriorate. The most common sign of water penetration is peeling paint and decay in the wood soffit under the gutter, dark stains and mildew, and deterioration of the masonry.

A hidden gutter screen can help in keeping out some of the debris. After cleaning the gutters, a cursory inspection of the drainage system can be completed by spraying the roof of the house with water and watching the gutters for pooling. This is a sign of sagging and misalignment of the system. While vinyl, aluminum and copper gutters rarely need maintenance; other materials may rust (steel) and rot (wood). Steel gutters should be painted every few years and wood gutters should be protected with a preservative every year.

gutters and downspouts: repairs Simply due to the location of gutters, extreme caution must be taken in carrying out any repairs or a professional should be contacted to complete the work. Small holes in vinyl and aluminum drainage elements (gutters, downspouts) can be patched with fiberglass. Sections of gutters that are sagging can be fixed by removing the supporting hardware and rearranging it to drain properly. The gutter is then reattached to the rafter ends. Areas that have a significant amount of damage should be replaced with the same material (vinyl with vinyl...). The damaged area can be cut out and a new gutter installed in its place, attaching it with screws and roofing cement.

Recommended	Not Recommended 5
Identifying and keeping functional and decorative features of the roof (for example it's shape, material).	Radically changing, damaging or destroying distinctive features so that the historic character is changed
Cleaning gutters and downspouts.	Allowing roof fasteners (nails and clips) to corrode.
Replacing deteriorated flashing.	Allowing a leaking roof to remain unprotected.
Checking that roof sheathing has proper ventilation.	Using substitute materials for replacement that give a different visual appearance or that are physically or chemically incompatible.
Providing adequate anchorage for roof covering to guard against wind damage and moisture penetration.	Removing a feature from the roof that isn't repairable without replacing it with something that gives the same appearance.
Protecting a leaking roof with plywood or building paper until it can be properly repaired.	Indiscriminately using bituminous patching compounds for repairs. Doing so hides the true condition of the underlying roof and masonry, corrodes metals, and can be difficult to remove for proper repairs. Tar deteriorates due to exposure to sunlight, loses its adhesive qualities, and begins to crack after a year of seasonal weathering.
Repairing or replacing roof materials with the same "historic" materials or with compatible materials.	Waiting until the building is damaged by leaks to plan for replacement of a worn-out roof.
Replacing the roof when it has exceeded its expected service life and shows evidence of advanced deterioration: insulation is wet, deteriorated, or poorly attached; numerous leaks of a serious nature have developed in the roof membrane.	Using sharp tools to chop ice out of gutters or off roofs, as damage to roofing materials is sure to occur.
Replacing, rather than recovering, the old roof with a new membrane when the existing roof membrane is not a suitable substrate for the new roof or when two or more roof coverings already exist.	

footnotes 5. National Park Service, "Building Exterior: Roofs," in Illustrated Guidelines for Rehabilitating Historic Buildings. http://www2.cr.nps.gov/tps.tax.rhb.roofs01.htm.

windows

Windows serve two important purposes: they are designed to create a weather envelope to prevent the exchange of air and water between the inside and the outside of the building and serve as important character-defining features for older buildings.

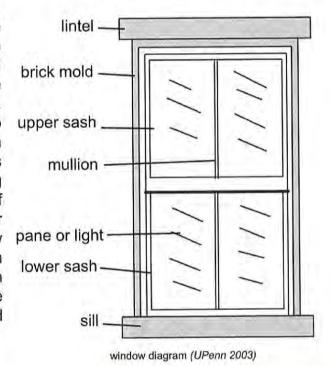
The original windows and many later replacement windows in the survey area are made out of wood. Later replacement windows are made out of a combination of plastics, such as vinyl. Wood windows are repairable while plastic windows are not. When a plastic window breaks, the solution is usually total replacement. In contrast, wood windows are almost always repairable. Therefore this section of the maintenance manual will focus on the repair and maintenance of wood windows.

windows:

There are many kinds of wood windows from casement designs to the extremely common double-hung window. With few exceptions, nearly all of the wood windows in the survey are traditional, double-hung wood windows.

A double-hung window consists of two nearly identical sashes. Each sash is "hung" or suspended on a balanced counterweight system, one on top of the other. The top sash is suspended approximately two to three inches closer to the outside than the bottom sash. In a properly operating double-hung window system, the top sash can be pulled down, and the bottom sash can be pulled upward.

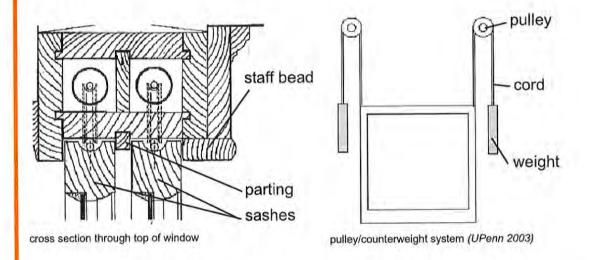
Each sash can be made of a single pane of glass enclosed in a frame of wood. The horizontal wood pieces are called rails and the vertical pieces are called stiles. Often, a sash can be divided into multiple panes or lights, each divided by a several mullions. It is common to refer to double hung sash windows by the number of divided panes in each sash. For instance, a double-hung window with six lights in the top sash and one light in the bottom sash is referred to as a "six over one window" which can be abbreviated to "1/1 window."



The sashes are mounted in a *window frame* and slide in two channels. The inner sash is held into the frame by a *staff bead* and a *parting bead*. The outer sash is held into a channel by the parting bead and a projecting portion of the window frame.

Each pane of glass is held into the sash by a series of *points*, small flattened and pointed pieces of metal, that are tapped into the rails, stiles, and mullions. The pane of glass rests in a special groove and is surrounded by *glazing putty*, a caulk-like compound traditionally made from linseed oil and white lead or chalk.

The *brick mold* is a special piece of wood trim that covers any space between the window frame and the rough opening in the wall. A rectangular piece of stone, concrete, or wood is placed above the window opening in order to distribute the load from the wall to either side of the window. This piece is called a *lintel*. The entire window assembly rests on the *sill* which can be made of stone, concrete or wood.



windows: common problems An original window that is maintained can last for hundreds of years without any major repairs. Wood windows are far from indestructible, however: decay is their primary enemy. Decay sets in when wood is allowed to get wet and dry in repeated cycles, thereby creating the perfect environment for fungal growth. The structural integrity of wood is compromised when brown and white rot, which are different types of fungi, use the wood as food. The same decay process that turns fallen trees into soil will, if given the chance, do the same to wood windows.

The key to the longevity of wood windows lies in keeping wood dry. Dry wood will not decay. An intact layer of paint and glazing will keep water from contacting and soaking into wood. An angled window sill will drain water away from the wood

window. Lastly, a properly designed window sill will have a "drip edge" to prevent water from rolling underneath the window.

Anything that interferes with these systems will cause the wood in the window to decay. Typically, these deleterious factors occur when regular maintenance, such as painting and glazing are not kept up. Breaks in paint and cracks in glazing allow water to be trapped and seep into wood. Exterior storm windows will cause condensation problems and trap water on the window sill.

Sometimes the mechanical operation of the window is compromised. Excessive paint will cause windows to stick; cotton sash cords will fray and break. And of course, window panes break.

maintenance and repairs for windows

At least once a year, windows should be inspected for paint and glazing compound failure, wood decay, and proper operation. This inspection should be done every spring or fall. Problems should be corrected as soon as possible. If you have exterior storm windows, every couple of months check to make sure that water properly drains from the window sill past the storm window. Promptly clear any accumulated debris from drain holes.

Expect to repaint windows every five to fifteen years. Windows that have been previously stripped to bare wood, primed, and then painted should perform at the upper range of this cycle. Glazing compound should remain in good condition for ten or twenty years or more.

Note that local environmental conditions, the direction a window faces, and the configuration of a building will have significant effects on the length of time between painting and reglazing of windows. Regular inspections are critical to catch small problems before they become larger ones.

windows: painting

Painting:

Wood windows need to be painted on a regular basis—usually on an interval of every five to fifteen years depending on the quality of the substrate, the quality of the paint, and the level of continuing moisture infiltration. A properly functioning paint layer helps keep the wood dry and shields the wood from the damaging effects of ultraviolet radiation. Latex (i.e., plastic, acrylic-based) paints may have an advantage over oil paints in that they allow a great amount of water vapor to migrate out of the wood substrate. However, oil paints have been used successfully on wood windows for hundreds of years (the modern version is known as alkyd paint).

Signs of paint failure appear as cracks, alligatoring, and detachment of paint from the underlying substrate. All paint will fail, but if water is being absorbed into the wood of the window—especially from any end grain—the migration of water as vapor will cause early paint failure. It is important to ascertain that the water shedding mechanisms of the window and its frame are functioning properly and these problems rectified before the window is repainted. (*Please see the section on FINISHES for issues dealing with lead paint.*)

Since a window has many friction surfaces, all paint on the window frame and sashes should be removed to bare wood. Paint removal is normally performed in a window restoration because paint



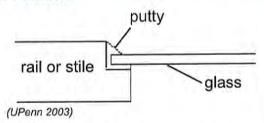
flaking paint on window (UPenn 2003)

buildup interferes with the normal operation of the window. Removal by sanding should be avoided—especially dry sanding which will substantially increase the amount of lead dust within the room. Some sources recommend wet sanding and scraping, but in general chemical stripping leads to the minimal dispersal of lead dust. Methylene chloride based paint removers are better than caustic, highly alkaline strippers. A high pH stripper (i.e., very alkaline) forces existing paint into the pores of the wood, making complete lead paint removal extremely difficult. Removal with heat guns and torches can be extremely dangerous as lead vapors will be liberated and can be directly absorbed into the blood through the lungs. Heat guns and torches also represent a very real fire hazard. A new infrared based paint removal tool has been recently introduced on the market that promises to use much lower temperatures, thereby mitigating problems with lead vapor generation and fire hazards.

Although it is legal for property owners to perform their own abatement, it is best to leave lead paint removal to professionals. Property owners who attempt abatement must be familiar with the hazards of lead paint removal and wear appropriate respirators and clothing to protect against lead dust, lead vapor, and chemical solvents. Lead paint is considered hazardous waste and must be disposed of properly. Under no circumstances should pregnant women or children perform lead paint abatement.

windows: glazing putty Glazing putty:

Glazing putty is a special caulk-like compound that is applied to the interface between the window stiles and rails and the glass, usually at an angle. Historically, it was primarily made of a mixture of linseed oil and white lead or chalk. When initially applied, the putty is plastic and will create a good seal between the window glass and the rails and stiles. Air and water migration is stopped by a properly glazed window.



Over time, the glazing compound will crack due to the oxidation of the linseed oil. These cracks will allow air and water into the window and cause wood decay

issues. If the glazing compound does not form a continuous, unbroken seal around the window, it should be renewed. This process is known as reglazing. Reglazing will also be necessary if a window pane is cracked or broken and needs to be replaced.



window with glazing problems (UPenn 2003)

windows: sash cord or chain

Replacement of sash cord or chain:

Sash cords were originally made from cotton fiber. Over time, the fiber decays and will eventually break. Two sash cords, attached on either side of the top of each sash, connects to a heavy weight inside of a pocket on each side of the window. These pockets are an integral part of the window frame. This system creates a balance with the sash on one side and the weight on the other.

Broken sash cords are easy to replace. Nylon and metal cords are now available that will give greater performance than original cotton cords.

windows: window sill

Window sill:

The window sill is the weakest part of the system. If not properly maintained, wooden window sills frequently decay, especially if water can gain access to the end grain of the wood. Make sure that the window sill slopes away from the window and offers a smooth surface that will repel water.

If the wood of the sill is in generally good condition, but it is checked or cracked, the sill can be repaired with epoxy or wood filler and then painted to recreate a smooth, water shedding surface.

Make sure that the brick molds are properly attached to the sides of the window and that there are no large gaps that may admit water. Caulk can be used to fill some holes, but it has a tendency to trap water and exacerbate decay. It is best to avoid caulk on the exterior of windows if at all possible. Instead, use caulk in the inside in order to stop air infiltration. Under no circumstances apply caulk to the underside of a window sill or around the entire brick mold. Doing so will inevitably trap water, accelerate the entry of water, and cause the decay of the sill.

External storm windows have a tendency to trap water at the window sill and cause problems with wood decay. For this reason, internal storm windows are preferable.

windows: window sash

Window sash:

If the joints at the corner of the sash are loose, the sash can be removed and repaired by repegging and/or gluing the joints. If the wood has decayed, an epoxy consolidant can be applied to strengthen existing wood and recreate missing sections. Larger sections of a sash can be replaced with new wood pieces. This work is best left to a professional familiar with the repair of older wooden windows.



wood decay on window sash (UPenn 2003)

Recommended	Not Recommended
Repairing wooden windows.	Replacing wooden windows with vinyl or metal windows.
Regularly inspecting windows for damage.	Waiting for failure before repairing.
Wearing proper respiratory protection when stripping paint with chemicals.	Using an open flame or heat gun for paint stripping.
Abatement of lead paint on surfaces exposed to friction.	Allowing paint dust and chips to accumulate.
Using interior storm windows.	Using exterior storm windows.
Restoring/repairing original water shedding mechanisms (sills, brick molds, glazing).	Using caulking materials to seal openings.
Reusing and repairing original window hardware.	Replacing serviceable window hardware with new items.

Replacement of wooden windows

In general, there is usually little reason to replace original wood windows. They were originally designed to be repairable and can last many hundreds of years in perfectly good working condition. Prior to World War II, the building industries had access to old growth timber that was far more stable, strong, and durable than the wood available today. In comparison, a modern wood window will decay and degrade much faster than an original wood window of similar construction. The only way around this problem is to use expensive, exotic woods, such as mahogany, which share similar durability characteristics similar to old growth Douglas fir and pine.

One of the most common reasons original windows are replaced is for energy efficiency. According to a recent article in *Clem Labine's Traditional Building*, "the energy savings realized by replacing single-glazed sash with insulating-glass units rarely justifies the cost. On average it would take over 50 years to recover the expense." Most heat loss associated with original windows is due to air leakage from damaged and ill-fitting sashes and it not necessarily inherent to their design. An interior storm window coupled with a repaired and properly weather-stripped original window can result in energy efficiency that approaches or even exceeds insulated-glass windows. More importantly, an original window system will keep performing at this level almost indefinitely; modern insulated-glass windows usually loose the seal between their panes of glass in ten years or less, drastically reducing efficiency and causing condensation problems.

Which is cheaper: repair or replace?

It's usually cheaper in the short term to replace original windows with cheap vinyl windows. As with many things, you get what you pay for, however. Many outfits advertise new vinyl windows installed for as little as \$99.00 per window.² These inexpensive windows are very poorly made and have a life expectancy, at most, of ten years. Early failures are quite common. Inexpensive installation will typically result in an aesthetically displeasing and energy-inefficient installation that may trap water, introduce rot or masonry deterioration, and leak air. The best vinyl window typically costs around \$500-\$600, installed. Even the best vinyl windows, however, will not match the longevity of original windows.

A decision to replace original windows with vinyl windows may be short-sighted. Any immediate savings will be lost over time as early replacement of vinyl windows is practically guaranteed. Parts for vinyl windows will become obsolete, and failure tends to occur within a five or ten year cycle. Once failed, they must be replaced rather than repaired.

The labor and material cost of completely replacing an original divided pane window with a new wood window of similar construction and design is usually between \$900 and \$2400. For simple sashes consisting of one pane of glass, the cost will be somewhat less. This price includes the complete window frame and new sill. For homeowners willing to invest sweat equity, the price could drop to as low as \$200 per window.

While complete or partial replacement of windows may appear to be the most attractive option, repair is often cheaper yet and results in a more aesthetically pleasing outcome while retaining the original durability of the window. Assuming that the idea of replacing original windows with cheap and unreliable vinyl windows is not a reasonable or sensible option, the repair of a window is the cheapest option available to a building owner.

For instance, a rotten window sill repair can be accomplished for under \$200. A window can be completely repaired for as little as \$300. Extensive restoration work can be as high as \$900, but is rare. Such work typically includes stripping paint; rope, chain, pulley, or weight replacement; and wood repair, painting, and reglazing the window panes. Most windows can be repaired: even windows with rotten rails and missing mullions can be restored to almost new condition using epoxy fillers and consolidants or by milling new pieces.

Sometimes a window only needs to be stripped, repainted, and reglazed. This type of maintenance is well within the capabilities of a property owner willing to invest in a bit of sweat equity.

Company	Address	Phone	Fax	Web site
Adams Architectural Wood Products	300 Trails Road, Eldridge, IA 52748	(563) 285- 8000	(563) 285- 8003	
Allegheny Restoration	Morgantown, WV	(304) 594- 2570	(304)594- 2810	http://www.alleghenyrestoration.
Architectural Components	26 N. Leverett Rd., Montague, MA 01351	(413) 367- 9441	(413) 367- 9461	
Architectural Windows and Entries, Inc.	2031 5 th Ave., S., St. Petersburg, FL 33712	(800) 747- 6840	(727) 823- 4823	http://www.architecturalwindows com
Dahlgrens, Inc.	Ogelsby, IL	(800) 424- 3135	(815) 883- 9639	http://www.replicawindows.com
Dixie Enterprises	1951 South Broadway, Camden, NJ 08104	(856) 338- 0033	(856) 338- 1678	
Hendricks Woodworking	Kempton, PA	(610) 756- 6187	(610) 756- 6171	http://www.historicdoors.com
Historic Window Resources	Plainview, NY	(516) 935- 0648	(516) 935- 0698	
Kolbe&Kolbe	1323 S. 11th Ave. Wausau, WI 54401- 5998	(715) 842- 5666	(715) 842- 2863	http://www.kolbe-kolbe.com
Millwork Specialties	Brooklyn, NY	(800) 592- 7112	(718) 965- 3974	http://www.millworkspecialties.c om
Seaquay Architectural Millwork Corp.	Bridgeport, PA	(610) 279- 1201	(610) 279- 4896	2100
Wood Window Workshop	839 Broad Street, Utica, NY 13501	(315) 733- 0933	(315) 733- 0933	
Zeluck Doors & Windows	Brooklyn, NY	(800) 233- 0101	(718) 531- 2564	http://www.zeluck.com

Local window repair/replacement specialists

Company/individual	Address	Phone/e-mail
Hoffman Painting and Refinishing	5290 Stump Rd., Pipersville, PA 18947	(215) 766-3544
Andy Palewski		(215) 763-1549 / arpalewsk i@mindspring.com
Phoenix Renovation	261 E. Waverly Road, Wyncote, PA 19095-1127	(215) 576-7071
Louis Tanner		(215) 726-6641

footnotes

¹ John H. Stahl. Clem Labine's Traditional Building (Mar-Apr 1999, vol. 12, no. 2): 128.

² What these window replacement operations don't tell you is that this price is quoted for an ideal window with ideal access. The actual price will usually always be higher.

doors

door: definitions A door is a movable lockable barrier of wood or other material consisting of one or several pieces framed together, usually turning on hinges or sliding in a groove, serving to permit or bar access through a doorway.

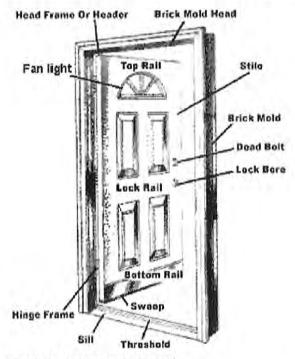


diagram of door (anatomy of a door)

Most of the doors in the Schuylkill-Southwest neighborhood are made of wooden panel(s), usually coated with paint or varnish. Occasionally, elliptical fanlights may occur or in some case central oval windows or glass panes may be inserted within a main doorframe or can part of the door itself. Many doors have protective screens, Plexiglas or iron doors/grids. Though screen doors and Plexiglas panes increase security and protect doors from deterioration, they can significantly take away from the historic integrity of a building.

The following illustration shows the typical doors present in Philadelphia from the early Georgian period up to the later Federal style. In the Schuylkill-Southwest neighborhood, there are examples of Georgian and Federal style doors even though most of the structures were built after the 1850s.



door: common problems Most common problems regarding doors are due to waterproofing with regards to the main substrate or broken glass if the door has a window.

Deterioration of wood is mostly linked to the presence of living microorganisms, fungi, bacteria and insects, often combined with humidity, which facilitates their attack and diffusion. Different kinds of fungi tend to weaken the material by generating a spongy consistency or provoking a particular type of degradation very frequent in wood, that of rot. White rot develops in the presence of severe humidity, and thus especially in wood exposed to the exterior and therefore to the action of rain. The attack of white rot can be stopped by eliminating the humidity in the environment and replacing the damaged parts with others suitably treated with fungicides.



example of brownrot (http:// www.anbg.gov.au/fungi/images-captions/ brown-rot-wood-0121.html)

maintenance and repairs for doors

Regular inspections are critical to catch small problems before they become larger ones. At least once a year, in spring or fall, doors should be inspected for paint and sealant compound failure, wood decay, and proper operation. It is critical to make sure that water drainage is properly working and that a drip edge drains water away from the door. Local environmental conditions, the direction of a door, and the configuration of a building will have significant effects on the length of time between painting and reglazing of door. Frames and headers should be repainted every five to fifteen years. Glazing compound should remain in good condition for ten or twenty years or more. Doors that have been previously stripped to bare wood, primed, and then painted should perform well.

doors:

Painting

If damage is limited to wood surface and has only affected the finish coat by cracking or flaking off, remove as much of failed coating and reapply on the dry wood to ensure the least amount of moisture trapping. (Please see "Painting" in the WINDOWS section for more information.)



flaking paint on door (UPenn 2003)

maintenance manual

doors: wood

Replacing wood

If wood is damaged (splintering or having a spongy texture) because the coating has weathered and overly exposed the substrate to harsh conditions, need a more radical repair. Damaged areas can be repaired by removing and replacing the damaged wood with a new piece of the same type and shape as the original. Alternatively, epoxy filler can be used to fill voids and coated with a finish layer of paint or varnish to match the original features.

doors: glazing

Glazing

Please see "Glazing putty" in the WINDOWS section.

doors: hinges

Hinges

Damp or damaged weather stripping is a possible cause for sticking doors. Inspect your weather stripping carefully for damage. If you find a damaged area, straighten with small-nosed pliers and re-nail if it is loose.

Sticking may be apparent at the threshold if the door sags at the hinges or swells from moisture. Tighten the screws at the hinges if this is the problem or replace the screws if they are not long enough to hold the hinge in place.

Look for a shiny spot on the door where it sticks. Sand down the shiny area but do not sand too much or the door will not fit as tightly as it should.

If the hinge seems to be the cause for the squeak, tap out the hinge pin with a hammer and screwdriver. Apply a drop of oil and rub over the inside of the hinge, wiping off excess oil. Place powdered graphite (as in a lead pencil) over the hinge, and then reassemble. If the hinge pin can't be removed, use powdered graphite only.

doors: friction catches Noisy Friction Catches

There are several options to reduce the excess amount of noise on friction catches. A stock lubricant can be used on a catch at the points of contact or powdered can also be used.

doors: locks and knobs Locks and Knobs

Oil should not be used as it may cause dust and debris to accumulate and make the lock difficult to clean. Instead, use powdered graphite in a hard-to-turn lock and around the latch.

To stop a knob from rattling, it is possible to insert a small chunk of putty or clay to in the knob and tighten the screws that hold the knob in place.

doors: glass

Glass

For cracked or broken glass, replacement is the best solution. The entire panel needs to be replaced. The door should be removed from its hinges and laid on a flat surface before glass replacement is done.

Recommended	Not Recommended
Repairing wooden panels.	Replacing wooden windows.
Inspecting doors regularly.	Waiting for failure before repair.
Using proper respiratory protection when chemically stripping paint.	Using an open flame or heat gun for paint stripping.
Using epoxy for repairing wood rot.	Using oil for hinges and knobs.
Restoring/repairing original water shedding mechanisms (sills, brick molds, glazing).	Using caulking materials to seal openings
Reusing and repairing original materials.	Replacing reusable materials with new items.

stoops

stoop: definitions

A stoop is a platform or small porch, usually up several steps, at the entrance to a house. Many original stoops within the Schuylkill-Southwest neighborhood are constructed of marble, while others are made of brownstone, granite, cement, and brick.

stoop: common problems

Because of the position of the stoop at the entrance of the building, the material suffers heavy wear from foot traffic. The stoops in the Schuylkill-Southwest neighborhood are also generally uncovered and are, therefore, directly exposed to the elements. The most common problems associated with stoops are cracking and displacement. Cracking can be caused by differential temperatures within the material, water penetration and subsequent freeze/thaw action, or the corrosion of inserted metal elements such as a railing. Displacement may be caused either by the movement of the soil beneath due to freezing and thawing cycles, by the movement of house as it settles, or simply by a strong sudden impact.

stoop: maintenance

Please see the section on MASONRY.



door and stoop (UPenn 2003)

decorative ironwork

decorative ironwork: definitions The traditional building metals found in the Schuylkill-Southwest neighborhood are cast iron and wrought iron. The most common iron products are cast iron, wrought iron, and steel. Although steel manufacturing began in the 1850s and was, therefore, available during the period of construction for the historic homes in this area, it is not generally found in these structures and will not be addressed in this manual.

The following are a few identifying characteristics to judge whether a material is wrought or cast iron:

- Wrought iron is capable of more delicate shaping than cast iron and, therefore, is often employed for more complex detailing. It also displays sharper, finer detailing than cast iron.
- Cast iron must be poured into a mold to achieve its final shape; therefore, a seam is usually found from the pressing together of the back and front pieces of the mold. This process also makes the shapes chunkier and duller in detail than wrought iron.
- Cast iron pieces are generally cast into repetitive forms.
- When broken, wrought iron pieces will display a fibrous structure like thick hairs while cast iron will display a crystalline structure with a smooth appearance.

Wrought Iron

Although wrought iron has been used in building construction since the earliest days of civilization, the main application of the material in this area is for decorative stair railing and window guards. The material is tough and fibrous, equally strong in compression and tension and can be worked by hammering, rolling and forming. Wrought iron is very pure, containing less than 1% of carbon, which makes it very resistant to corrosion.



wrought iron (UPenn 2003)

Cast Iron

Cast iron is not worked like wrought iron but is melted and poured into molds to shape it, making it less time consuming to produce as it requires less hand-work. Cast iron, containing up to 5% carbon, is strong in compression but weak in tension which is why it is often used as structural columns but cannot be used in beams. Cast iron is much harder than wrought iron but is also more brittle, making it susceptible to cracking under extreme pressure.



cast iron (UPenn 2003)

decorative ironwork: common problems

The most common problem associated with iron is rusting, which is the corrosion material produced when iron is exposed to water and air. Painting is the most practical way of protecting iron, although more expensive and dramatic treatments such as galvanizing have been used in the past. Galvanizing involves removing the ironwork and dipping it into a zinc bath in order to create a protective skin for the iron. This method changes the composition of the material and, therefore, is not recommended for preservation work.

Wrought iron and cast iron, although hard materials, are also susceptible to damage due to cracking, bending, and loosening of joints. Both are generally anchored into masonry with lead sealed joints which leads to another common problem – deterioration through galvanic action. This is an electrochemical reaction which takes place when two dissimilar metals react with one another. Iron can be corroded in the presence of copper or lead.

Some problems also occur due to poor manufacturing. Cast iron may contain air holes, cracks, and cinders that cause quicker failure of the material. Cast iron can also be incredibly brittle. Wrought iron is much more flexible than cast iron; however, it can become fatigued under repetitive stresses and lose its elasticity resulting in a fracture.

maintenance and repairs for decorative ironwork

Wrought iron is commonly believed to be a maintenance-free material that requires only periodic painting to slow the formation of rust. It is recommended that wrought iron work be inspected about once a year to judge its stability.

decorative ironwork: cleaning

Cleaning: Wrought iron is generally covered in paint and a build-up of rust can occur in areas that trap water. Hand scraping, chipping, and wire brushing are the most common and least expensive methods for removing paint and rust from iron work; however, they are not the most effective methods. Both grit blasting (a.k.a. sandblasting or abrasive cleaning) and chemical paint removers offer better results but require strict control and care to avoid damage to the building or person applying the treatment. It is recommended that grit blasting only be used as a last resort. However, the aggressive cleaning will remove the outer layer of the iron known as the mill scale, which is not only the original surface but also acts as a protective layer which is more resistant to corrosion than the inner layers of iron. Furthermore, grit blasting will remove the original textures and color of the iron, changing its appearance permanently. If employed, however, iron slag or sand should be used as grit because they will provide the proper amount of sharpness and will not react chemically with the iron. The use of very sharp grit materials and high pressures (above 100 pounds per square inch) are unnecessary and should be avoided.

Chemical cleaning with paint strippers is a gentler method, but must be performed very carefully. All chemicals must be removed after treatment with water or steam. Although the chemicals will not attack rust, it can be easily removed with the application of heat. Rust does not expand at the same rate as the iron so that when heated the two substances will separate and the rust can be brushed away. Heating the iron to a red-hot temperature will also consolidate the surface and restore the mill scale. Flame cleaning should only be performed by professionals.

decorative ironwork: dismantling

Ironwork is generally fastened by riveted or tenoned joints that cannot be separated without some damage to the materials. When joints must be taken apart, it is generally recommended to replace them with compatible screws. It is also recommended to paint all joined surfaces while they are exposed to prevent further corrosion.

decorative ironwork: protection

Iron is most easily protected with paints. The ironwork should be cleaned of all rust before new paint is applied. The following sequence is most highly recommended for long lasting protection of ironwork: two coats of a rust-inhibiting primer paint, followed by a micaceous iron oxide paint, and two coats of an epoxy urethane finish. Zinc-rich primers can be used to provide even longer-lasting protection. Modern alkyd enamel paints are also a good substitution for the traditional oils paints used on ironwork although they will weather more quickly than the epoxy-based coatings. Black is the traditional paint color for ironwork. Special metal fillers can be used to fill in any surface defects before painting. When possible, a brush should be used to apply the paint rather than spray painting because it will deposit a more even layer of paint and will ensure equal coverage on the complicated surfaces of decorative iron work.

Recommended	Not Recommended
Inspecting yearly, especially areas which may trap water.	Cleaning with harsh abrasives.
Maintaining a coating layer of paint, preferably an alkyd paint or an epoxy urethane system.	Using latex paints which cause immediate oxidation when applied to bare metal, speeding up the corrosion process.
Replacing damaged pieces with in kind materials when possible.	Replacing pieces with unlike materials such as steel.

finishes

point

paint: definitions

Paint is the first line of defense against varying year-round temperatures and moisture on a building. The painted materials discussed here are wood and masonry. In addition to its protective quality, paint is important because of the aesthetic value it gives to a building. Because of these traits, paint should not be completely removed unless entirely necessary. Furthermore, layers of paint on building material provide an historic record to the building and past owners.

common problems and maintenance for paint

A yearly inspection of painted surfaces will help delay any larger paint failures that would require more time and money to address.

paint: dirt

Paint gets dirty from dust and dirt in the air, insect and bird droppings, and pollution. The easiest way to clean the surface is by gently spraying the paint with a garden hose and wiping with a sponge. If the dirt is too persistent, ½ cup of dish detergent in one gallon of water can be used with a soft bristle brush. After cleaning the surface should be thoroughly rinsed. Repainting may not be necessary if the paint is in good condition after being cleaned.

paint: mildew

Mildew thrives in moist and shady environment and may even live off of the paint film itself. Introducing some sunlight in the area by pruning a shrub, for example, may help prevent further mildew growth. Additionally, 1 cup of detergent (without ammonia) can be mixed with 1 quart of household bleach, and 1 gallon of water and used with a soft brush to clean the surface. Rinse the surface thoroughly and wait for it to dry before repainting. There are mildew resistant primers and paints that should be used for repainting.

paint: chalking

Chalking is an excessive powdering of the paint surface which occurs when the resin in the paint disintegrates. It can also be cleaned with ½ cup detergent in one gallon of water, scrubbed with a soft bristle brush, and rinsed. After it is dry, repainting with a non-chalking paint is recommended.

paint: staining

Staining can occur from rust that washes down from metal features to the painted surface when it rains. Staining can also result from a chemical reaction between moisture and natural extracts in some woods. The staining from rusted metals should be addressed at the source by sanding and coating the metal objects with a rust-inhibitive primer and two finish coats. If the staining is due to the wood underneath, you can try cleaning with 1 part denatured alcohol to 1 part water and then repainting with stain-prevention paints.

paint: crazing



Crazing is the formation of fine cracks throughout a painted surface which is not yet peeling. This occurs when there are many paint layers on a surface which are not able to expand and contract during varying temperatures and humidity. Sanding by hand or with an electric sander will expose a sound layer of paint, which can then be repainted.

paint: alligatoring/ cracking



When crazing is not repaired, moisture can infiltrate beneath the paint causing deep cracks. If it is occurring on only the top few layers, scrape the surface down to the next sound layer, sand and repaint. Otherwise, total paint removal is necessary which can be done - very cautiously - with heat,

abrasion or chemicals. (Please see "Paint Removal from Wood Surfaces" in this section before proceeding with paint removal.)

paint: intercoat peeling



This occurs when the most recent paint layer was applied to a dirty surface and hence does not adhere well to the undercoat. Intercoat peeling will also occur if a latex paint is applied to an oil paint or vice versa. Peeling layers should be scraped with a putty knife, washed thoroughly, sanded, and repainted with the proper oil or latex paint to www2.cr.nps.gov match the previous coat.

paint: wrinkling



This will occur if paint is applied too thickly, if a second coat was applied before the first one had dried, or if paint was applied in higher-then-recommended temperatures. Wrinkled surfaces www.kwalhowells.com should be scraped, sanded, and repainted.

paint: peeling



Peeling is usually due to moisture which collects behind the paint in the wood or masonry causing the paint to pop off. It is imperative to locate and repair the source of water infiltration. This will help prevent future disintegration of paint layers and also protect the material underneath the paint from deterioration. The sources may be clogged gutters, decayed flashing, cracks in the siding, open

joints on the exterior, or excessive moisture from the interior. The surfaced can be scraped, sanded, and repainted once the source of water infiltration is repaired and the materials have dried.

paint removal from wood surfaces

removal: abrasion

There are three general methods of removing paint on a large scale. The best approach is always the most gentle, even though this may take a bit more time. Using gentle methods with better preserve the historic material underneath.

removal: heat

For scraping or sanding the surface, it is best to use paint scrapers, putty knives, sandpaper or sanding blocks. Electric tools, such as orbital sanders or belt sanders, are useful for larger. Sandblasting, waterblasting, and rotary drilling with bits are not recommended because they are potentially damaging.

Extreme caution must be taken when using heat to remove paint. If the temperature is too high or the tool is held too close to the surface, the underlying wood may burn. The optimum temperature range is between 500° F and 800° F. The two tools that can be used are electric heat plates and heat guns. Both should be held several inches away from the surface just until the paint softens and can be scraped off with a putty knife. Heat guns work better in detailed areas that the heat plate cannot get into. EXTEME CAUTION MUST BE TAKEN WHEN USING HEAT REMOVAL METHODS BECAUSE THEY CAN BURN YOU, YOUR CLOTHES, AND ANY OTHER ORGANIC MATERIALS AROUND YOU SUCH AS RAGS, SHRUBBERY, OR THE WOOD BENEATH THE PAINT. Blow torches are *not* recommended.

removal: chemical

Paint strippers soften the paint so that it can be easily scraped off with a putty knife. These chemicals work well in areas of detail. Paint strippers should be used with extreme caution as they are highly toxic and may be damaging to historic materials. PLEASE READ ALL WARNING LABELS AND INSTRUCTIONS BEFORE USING THESE PRODUCTS.

paint removal from masrony surfaces

Paint removal from masonry is similar to paint removal from wood; however, the use of abrasive methods for total paint removal is not recommended for masonry because of the harm it may cause to the surface. Generally, the painted masonry should be stripped using alkaline paint removers and organic solvent paint removers. Because of the potential for harm to the building and the user, this work requires a contractor. Sanding, scraping, and repainting can be done without a contractor.

recommended paints

It is best to use oil, or alkyd, paints on exterior surfaces, though latex is also an option. When repainting, an oil primer should be used either for oil paints or as a preparation for a surface to receive latex paint that was previously an oil paint; this will create better adherence to the layer below. Duron and Benjamin Moore are recommended paint products for exterior painting.

Recommended	Not Recommended
Regular maintenance of painted surfaces	Total paint removal when avoidable
Gentle paint removal methods using putty knives, paint scrapers, and handheld sanding products	Sandblasting, waterblasting, or rotary drill bits
Maintaining historically painted masonry facades	Painting on previously unpainted masonry surfaces
Hiring a contractor for large scale masonry paint removal	Using abrasives on painted masonry

Important Safety Information about Lead Paint

Traditionally, most paints contained some form of lead. Lead is poisonous when ingested, especially for children. Elevated lead levels in children are associated with learning difficulties and various neurological disorders. Adults are also susceptible to lead poisoning, but can take far higher doses than children without apparent ill effect.

Inhalation of lead paint dust is the most common method of poisoning. Lead paint chips represent a significant hazard, but it is the dust that is far more hazardous.

Lead containing paints were legal in the United States until 1978. Since lead paint before that time was extremely common, it is a fair assumption that any building built before 1978 will have lead paint. There are many ways to test for the presence of lead paint, including x-ray fluorescence (XRF) analyzers, chemicals, dust wipe tests, and atomic absorption spectroscopy. Resources for locating a qualified testing and abatement agency are listed below.

Lead paint dust is generated in areas where two or more surfaces are exposed to friction or impact. Typically, these areas are around doors and windows. Lead paint chips can form anywhere inside a building, but are most hazardous in areas young children can reach with their hands and mouths. The only reliable method for lead paint abatement in friction or impact areas is to completely remove the paint to bare wood; all other areas can be painted with a special lead-encapsulating paint.

Since a window has many friction surfaces, all paint on the window frame and sashes should be removed to bare wood. Paint removal is normally performed in a window restoration because paint buildup interferes with the normal operation of the window. Removal by sanding should be avoided—especially dry sanding which will substantially increase the amount of lead dust within the room. Some sources recommend wet sanding and scraping, but in general chemical stripping leads to the minimal dispersal of lead dust. Methylene chloride based paint removers are better than caustic, highly alkaline strippers. A high pH stripper (i.e., very alkaline) forces existing paint into the pores of the wood, making complete lead paint removal extremely difficult. Removal with heat guns and torches can be extremely dangerous as lead vapors will be liberated and can be directly absorbed into the blood through the lungs. Heat guns and torches also represent a very real fire hazard. A new infrared based paint removal tool has been recently introduced on the market that promises to use much lower temperatures, thereby mitigating problems with lead vapor generation and fire hazards.

Although it is legal for property owners to perform their own abatement, it is best to leave lead paint removal to professionals. Property owners who attempt abatement must be familiar with the hazards of lead paint removal and wear appropriate respirators and clothing to protect against lead dust, lead vapor, and chemical solvents. Lead paint is considered hazardous waste and must be disposed of properly. Under no circumstances should pregnant women or children perform lead paint abatement.

Resources for Lead Paint Abatement

Philadelphia Health Department Childhood Lead Poisoning Prevention Program: (215) 685-2797

Pennsylvania Department of Health Lead Information Line:

(717) 782-2884

Environmental Protection Agency, Regional Office: (215) 597-9800

National Lead Information Center: (800) LEAD-FYI

Pennsylvania certified lead abatement contractors:

http://www.environmentalnetwork.com/lead/PA/pa_lead_index.htm

General information on lead paint:

http://www.environmentalnetwork.com/lead.html

Department of Housing and Urban Development lead paint information:

http://www.hud.gov/offices/lead/index.cfm

stucco: definitions

Stucco is a non-structural protective or decorative coating applied to the exterior of a building. Historically, exterior plaster coatings were applied to protect bricks and the mortar behind them. These historic stuccoes were made of a lime and sand mixture, and were meant to be a temporary layer, much like paint. These stuccoes would often be renewed yearly to refurbish both the appearance of the building and the water-repellant, but breathable, barrier. More recently, cements have been incorporated into the stucco mix, making a harder and more durable coating.

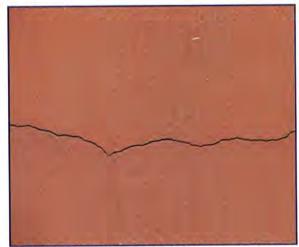
common problems and maintenance for stucco

Stucco experiences freeze/thaw and salt-related damage. Cement-based stuccoes are often more durable, which is often problematic. Cement is not breathable and will trap moisture in the masonry behind it. Walls are inevitably in contact with moisture sources, whether through rain runoff, in the ground below, or a tiny crack in the stucco, moisture trapped in the wall behind a cement stucco can cause deterioration of the masonry.

If considering removing the stucco from a wall that historically did not have stucco, remove a small test area first. The wall material behind the stucco may be scored from when the stucco finish was applied. Removing the stucco may also damage the wall behind it if the masonry is damaged or fragile. The removal of stucco should be performed only after testing a small area, and with great care so the wall is not damaged in the process.



An example of an inappropriate stucco repair: the replacement material is dissimilar to the existing stucco (UPenn 2003)



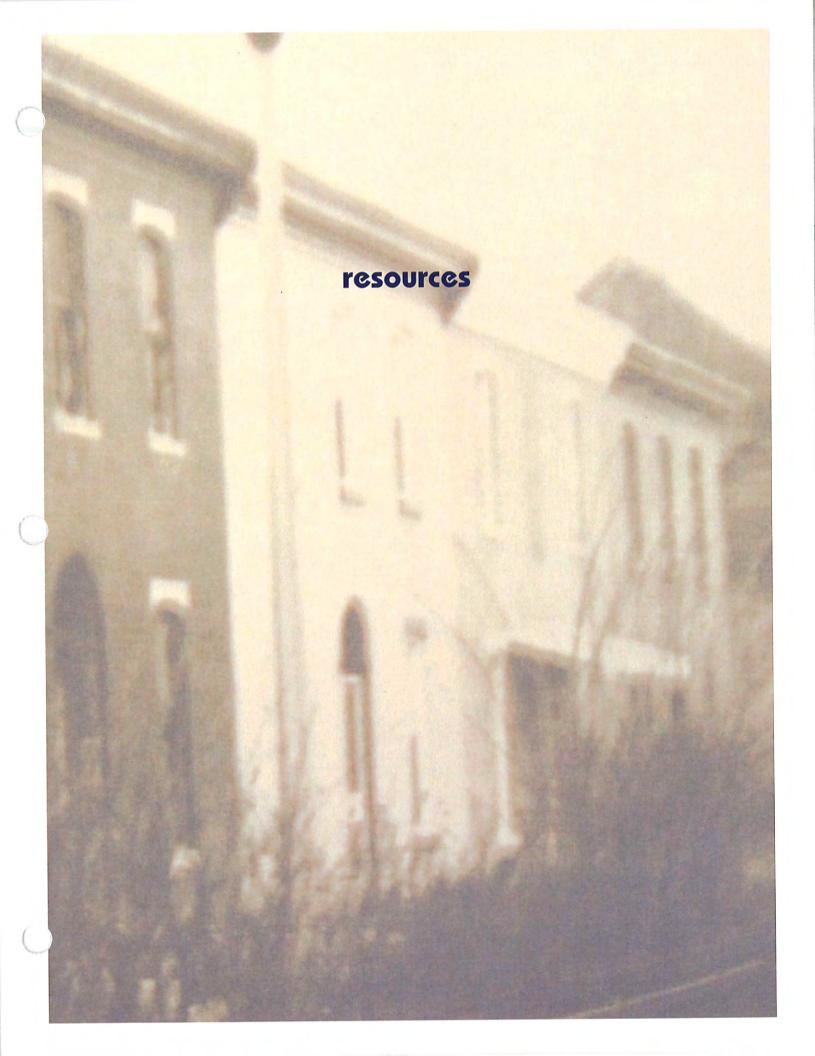
A crack in a stucco finish: even though this crack is only around 2mm wide, it will allow the ingress of a great amount of water, and should be patched (UPenn 2003)

footnotes 1, Feilden, Bernard M. Conservation of Historic Buildings. Oxford: Architectural Press, 2003.



An example of damage caused by moisture: this stucco and the stone behind it has been damaged by water trapped behind the stucco (UPenn 2003)

Recommended	Not Recommended
Inspecting stucco regularly, checking for cracks or holes.	Failing to inspect and identify damage that could be detrimental to the stucco or the wall.
Removing any damaged material, and patching cracks or holes with stucco that is similar to the surrounding stucco.	Repairing holes or cracks with dissimilar or inappropriate materials.
Cleaning the stucco with the gentlest method possible, and only when needed, during seasons when a freeze is least likely.	Cleaning the stucco with abrasives or harsh chemicals, more often than needed, or when freezing temperatures are likely.



introduction

Unfortunately, even if you consistently maintain your house and make repairs, there may come a time when a professional is needed. While the process of improving your home can be overwhelming, take the time and care to thoroughly plan out the project from the beginning. A clear understanding of what you want to do, what you want it to look like when it's done and how much you want to spend, will make the project go much more smoothly.

contractors

There are 42 different types of contractor licenses, including general and specialty contractors. General building contractors typically oversee projects; specialty contractors are usually hired to do a single job. You will mostly only deal with specialty contractors (to repair masonry or the roof), however for larger, remodeling jobs more than one contractor should be hired (which may actually come under a general contractor).

Some contractors that you may possibly call upon are1:

- Boiler, Hot Water Heating and Steam Fitting Contractor: Installs, services and repairs boilers, hot-water heating systems and steam fitting.
- Framing and Rough Carpentry Contractor: Performs any work necessary to construct framed structures, installs and repairs individual components of the framing systems, does rough carpentry (including the construction or installation of sub-flooring, siding, exterior staircases and railings, overhead doors, roof decking, roof structures and sheathing).
- Cabinet, Millwork and Finish Carpentry Contractor: Makes cabinets, cases, sashes, doors, trims, and non-load bearing walls.
- Low Voltage Systems Contractor: Work with communication and low voltage systems such as telephone systems, sound systems and cable TV systems.
- Drywall Contractor: Lays out and installs gypsum wallboard and the related assemblies.
- Electrical Contractor: Places, installs and connects electrical wires, fixtures, appliances which generate, transmit, transform or use electrical energy in any way.
- Flooring and Floor Covering Contractor: Prepares a surface for the installation of flooring and floor coverings, installs carpet, resilient sheet goods and tiles, wood floors and flooring.
- Glazing Contractor: Selects, cuts, assembles and installs glass for windows.
- Warm-Air Heating Ventilating and Air-Conditioning Contractor: Makes, installs, maintains and repairs warm-air heating systems and water heat pumps, ventilating systems, ducts, registers, flues, humidity and temperature controls and the association air filters.

- Lock and Security Equipment Contractor: Evaluates, sets-up, installs, maintains and repairs all doors, gates and locks.
- Masonry Contractor: Installs concrete units, brick products, glass, clay block, stone, terra cotta.
- Painting and Decorating Contractor: Prepares surfaces for the application of paint, wall paper, texture, fabric, varnish, shellac, stain, adhesives to decorate, protect, fireproof and waterproof surfaces.
- Lathing and Plastering Contractor: Installs wood or metal lath and covers the surfaces with plaster as a permanent finish to soundproof and fireproof the surfaces.
- Plumbing Contractor: Provides the means to have safe water and to properly dispose of wastewater.
- Roofing Contractor: Installs products and repairs surfaces to seal, waterproof and weatherproof the house.

what to look for

Because most houses in the Schuylkill-Southwest Neighborhood are historic, you will want to find a contractor that has experience with historic materials, especially in keeping the materials by repairing not replacing. This will reduce the number of qualified contractors. Many preservation organizations can provide references for suitable restoration contractors.

Because there is such a wide range of contractors, choosing one may seem like a daunting task. One way to begin the process is by talking to friends and neighbors about their experiences with contractors. There are three basic questions to ask involving quality, price and time; were they satisfied with the work, the price and the amount of time it took?

Research and compare the list of contractors that you come up with; you should have a list of at least three. Find out if they actually do the type of work that you're looking for and pay special attention to whether or not they have worked successfully with historic materials. Ask to see the contractor's pocket license and other forms of identification. Get the business's address and phone number and verify them; not having a place of business may make the contractor difficult to reach in an emergency. Make sure that the contractor is insured against claims covering workers' compensation, property damage and personal liability in case of accidents; and ask to see the insurance certificates.

questions to ask

Ask the contractor for local references and call them to find out if they were satisfied with the work done. There are a few important questions to ask these references:

- Did the contractor keep to the schedule and terms of the contract?
- Were you pleased with the work and the way it was done?
- Did the contractor listen to problems that you had and try to resolve

them?

- Did the contractor willingly make necessary corrections?
- The state's Better Business Bureau will have a record of complaints filed again companies.

Invite the contractors to visit the house and make sure that you and your contractor have a clear understanding of the work that is going to be done. You want to feel comfortable working with these people since they will be in your home.

internet resources

There are various web sites that can direct to contractors in the Philadelphia area, such as²:

"Contractor.Com: The Contractor Resource Center"

Web Address: http://www.contractor.com

"ImproveNet"

Web Address: http://www.improvenet.com "Pennsylvania Contractors & Home Builders Online"

Web Address: http://www.localhomecontractors.com/

pennsylvania.com

Better Business Bureau of Eastern Pennsylvania

Web Address: http://www.easternpa.bbb.org/pn.html

the work contract

A formal written contract should include3:

- The contractor's full name, address, telephone number and professional license number
- A detailed description of the work to be done, including specifications of the materials (the quality, amount, weight, color, size and brand name)
- The start and completion dates
- The cost of both labor and materials
- Payment information (how and when you will pay)
- Any warranties and guarantees of workmanship
- The method of clean-up and removal of debris at the completion of the project
- A "right to cancel" clause that gives you time to change your mind after you've signed the contract (usually three days). It should also describe what will happen if there are unexpected problems after work has started

The contract should call for the work to be done according with all applicable buildings codes. A building permit is required whenever structural work is involved or when the basic living area is going to be changed.

Not all contracts look like official writing, anything in writing that you sign can be taken as a contract so make certain you fully understand everything that you

put your name on. However, a spoken promise is not a contract so be sure to get promises in writing.

Keep a copy of the official contract and any other written documentation in file for your reference.

Finding a good contractor that fulfills your needs and the needs of your historic home is essential in a successful project.

footnotes

¹ Contractors State License Board, California. http://www.cslb.ca.gov/consumers/beforehiring.a sp#PageTop.

^{2 &}quot;Finding a Contractor, Regular Renovation." http://www.realtyfinancialgroup.com/find.html

Jackie Craven, "The Home Improvement Contract," from What You Need to Know About. http://architecture.about.com/library/bl-contract.htm.

city of philadelphia programs

anti-graffiti program Anti-Graffiti Program Mural Arts Program (215)685-0755

Web address: http://www.muralarts.org Provides free power washing or paint.

basic systems repair program

Basic Systems Repair Program

Neighborhood Transformation Initiative

Philadelphia Office of Housing and Community Development

Tel: (215) 686-9727

Web Address: http://phila.gov/ohcd

Free emergency repairs to electrical, plumbing and/or heating systems of an

owner-occupied property.

emergency heater hotline **Emergency Heater Hotline**

Neighborhood Transformation Initiative

Homeowners: (215) 568-7190 Renters: (215) 686-2590

Free minor repairs to heaters.

gift property

Gift Property

Neighborhood Transformation Initiative

Tel: (215) 854-65150

Vacant city owned properties are made available to applicants who can

complete requires repairs.

greater st. matthew cdc Greater St. Matthew Community Development Corporation

24th Street and Grays Ferry Avenue

Offers renovated buildings for less than market value to sustain the community.

homestart

Homestart

Neighborhood Transformation Initiative

Philadelphia Office of Housing and Community Development

Tel: (215) 448-2176

Web Address: http://phila.gov/ohcd

Vacant city owned houses, rehabilitated and sold at below market prices for

qualified first time homebuyers.

housing choice

Housing Choice

Philadelphia Housing Authority

Tel: (215) 684-4000

Allows low income residents to live outside of public housing through a voucher

system - waiting list though as of November 2003 is full.

ordinance 14-2007

Ordinance 14-2007

Philadelphia Historical Commission

Tel: (215)686-7660

Buildings that are listed on the Philadelphia Register of Historic Places are eligible for tax credits.

philadelphia home improvement loan

Philadelphia Home Improvement Loan

Neighborhood Transformation Initiative / Redevelopment Authority Philadelphia Office of Housing and Community Development

Tel: (215) 448-2176

Web Address: http://phila.gov/ohcd

Provides low interest home improvement loan up to \$25,000 to qualified

homeowners.

settlement grant program

Settlement Grant Program

Neighborhood Transformation Initiative

Tel: (215) 686-9723

Provides up to \$800 to first time homebuyers who complete pre-purchase

counseling.

SHARP

SHARP

Neighborhood Transformation Initiative

Tel: (215)765-9040

Free minor repairs to homes of the elderly

TBSRP

Targeted Basic System Repair Program (TBSRP)

Neighborhood Transformation Initiative

Tel: (215) 546-0363

Email: dbergman@southofsouth.org

Created to stabilize and improve selected neighborhoods that are at risk of deterioration. Makes available funds for eligible single-family properties. Annual household income must be less than 80% of AMI. Helps the property owner with major systems repair such as plumbing, heating, electric, and roofing. Exterior façade improvements such as porch and cornice repair. Exterior Painting, sidewalk and step replacement are also included in the program.

weatherization

Weatherization

Neighborhood Transformation Initiative

Tel: (215) 686-9727

Web Address: http://phila.gov/ohcd

Assistance to low-income households to reduce their energy bills through low cost repairs to homes designed to reduce heating and cooling costs. A winter heating crisis service that is also available through this program.

state of pennsylvania programs

housing rehabilitation

Department of Community and Economic Development Housing Rehabilitation Philadelphia Office of Housing and Community Development

Tel: (215) 686-9750

Assistance to low- and moderate-income homeowners to repair their homes in compliance with the new statewide building code. Financial assistance can be in the form of grants or low interest loans.

homebuyer assistance

Homebuyer Assistance

Department of Community and Economic Development

Tel: (215) 686-9750

Assistance to low- and moderate-income persons to purchase a home and provides special training on how to purchase a home.

housing alliance of pennsylvania

Housing Alliance of Pennsylvania

Web Address: http://www.housingalliancepa.org

The Alliance was formed for the purpose of ensuring that all Pennsylvanians, particularly those who are low income, have access to decent, safe and affordable housing. Included in their programs are working as a watchdog for affordable housing, research and policy development, information and education, advocacy, technical assistance and coalition building.

property tax relief

Property Tax Relief

A proposal that is currently in committee at the state legislature. If passed it will offer homeowners and average property tax reduction of 30%. The average tax reduction will be at least 15% in every school district, and in communities with high concentrations of limited and low-income residents the minimum average will be at least 30%.

purchasing/ improvement loans

Purchasing/Improvement Loans

Pennsylvania Housing Finance Agency

Tel: (717) 780-3800

Created to improve the supply of available housing for low and moderate-income families, the elderly and the disabled. Operates in three areas, rental housing construction and rehabilitation, homeownership, and mortgage foreclosure assistance. The agency also sponsors a variety of insurance programs for multifamily and single-family mortgage loans. Through this agency homeowners can also receive up to fifteen thousand in home improvement loans in owner occupied residents on improvements.

residential tax credits

Residential Tax Credits (pending)

State of Pennsylvania

A 20% state income tax credit will be made available to individuals who purchase and restore older properties. This applies to designated properties only.

community incentives

tax increment

Tax Increment Financing

Pennsylvania Economic Development Financing Agency (PEDFA)

Communities can borrow funds for projects that will develop blighted areas and repay those borrowed monies from new tax revenues that will result from the development.

education

Pennsylvania Historic Preservation Plan

Contact info: 717-783-8946

A joint effort of the Pennsylvania Historical and Museum Commission and Preservation Pennsylvania. The three main steps of the plan involve:

- 1) Education
- 2) Get the preservation message out
- Reach out to elected officials and key professionals by providing educational materials and technical assistance workshops regarding current laws and regulations to preservation tools and incentives.

remodel pennsylvania

Remodel Pennsylvania

Provides funds for local government redevelopment authorities, businesses via local government, nonprofits for site acquisition, construction, infrastructure improvements including paving and upgrading of water and sewer facilities.

community organizations

E.P.O.P.

Eastern Pennsylvania Organizing Project (E.P.O.P.)

2625 B Street

Philadelphia, PA 19125 Tel: (215) 634-8922 Fax: (215) 634-8827

Email: epopleaders@earthlink.net

Web Address: http://www.epopleaders.org

E.P.O.P is a faith-based organization which uses leadership development and community organizing to help bring about positive changes. Their main goals are safer streets, improved city services, greater education opportunities for young people and adults, and public and private reinvestment in neighborhoods. E.P.O.P recently partnered with Greater St. Matthew Baptist Church to create a Community Development Corporation, which is working towards community revitalization.

marian anderson recreation center

Marian Anderson Recreation Center

744 South 17th Street Philadelphia, PA 19146 Tel: (215) 685-6594

Web Address: http://www.phila.gov/recreation/contact/directory/anderson.html
Named for the celebrated classical contralto singer and civil rights
groundbreaker, born in South Philadelphia in 1897, the is open seven
days a week and offers a variety of cultural and sports programs for

residents of all ages.

odunde, inc.

Odunde, Inc.

2308 Grays Ferry Avenue

730 Broad Street

Philadelphia, PA 19146

Tel: (215) 732-8508 Fax: (215) 732-8510

Web Address: http://www.odunde.org

Odunde, Inc. is an educational and cultural organization that produces year-round programs focusing on African Diaspora culture. A highlight is the annual Odunde festival, one of the oldest African-American summer

street fairs in the nation.

south philadelphia blocks association

South Philadelphia Blocks Association, Inc.

Web Address: http://www.southphillyblocks.org

The South Philadelphia Blocks Association is a non-profit corporation serving South Philadelphia from Broad Street to the Schuylkill River and from South Street to Moore. Its mission is to uplift the community by empowering block captains to clean and beautify their blocks and to work collaboratively with municipal agencies and other community organizations and businesses to help residents improve the quality of their lives. The South Philadelphia Blocks Association website offers information and links community organizations, public transportation, and nearby food markets and other amenities.

south philadelphia renaissance project

South Philadelphia Renaissance Project

767 South Street

Philadelphia, PA 19146

Tel: (215) 602-8650

To commemorate generations past and inspire those of the present and future, the Project aims to produce 50 hours' worth of video oral histories of South Philadelphia's ethnic cultures in order to promote the area as a destination for tourists, historians, the media, schoolchildren, and small businesspeople.

SOSNA

South of South Neighborhood Association (SOSNA)

1711 South Street Philadelphia PA 19146

Tel: (215) 732-8446 Fax: (215) 732-2016

Email: sosna@southofsouth.org

Web Address: http://www.southofsouth.org

SOSNA is non-profit corporation that serves as the Neighborhood Advisory Committee (NAC) for Southwest Center City. Their goal is to facilitate citizen input into community development and their programs include the creation of local affordable housing. SOSNA General Meetings are held on the second Wednesday of every month and are open to the community.

SSWBA

South Street West Business Association (SSWBA)

1537 South Street Philadelphia, PA 19146 Tel: (215) 735-0458 Email: info@sswba.org

Web Address: http://www.sswba.org

SSWBA is a 40 year old partnership between both long-standing and new businesses, professionals, and community organizations based on South Street west of Broad. SSWBA seeks to strengthen the South Street West corridor to support thriving businesses that serve local resident's needs. The SSWBA website offers information about community news and events, local history, current development, and resources for buying/renting property and starting a new business. Meetings are held on the third Wednesday of every month and are open to the public.

universal business support center

Universal Business Support Center Universal Companies 1502 Catharine Street Philadelphia, PA 19146

Tel: (215) 985-9420 Fax: (215) 985-9715

Universal Companies is a nonprofit organization seeking to reinvest in South Philadelphia neighborhood. Universal Companies operates the Universal Business Support Center (UBSC) to support entrepreneurs with new and existing businesses. The Center assists entrepreneurs individually with a number of small business concerns and also conducts workshops on small business development, financial investment tax preparation, credit restoration, budgeting and money management, business plans, accounting and bookkeeping, insurance, and managing employee benefits.

preservaton and maintenance resources local and state resources

better business bureau

Better Business Bureau of Eastern Pennsylvania

1608 Walnut Street, Suite 600 Philadelphia, PA 19103-5447

Tel: 215-985-9313 Fax: 215-893-9312

Web Address: http://www.easternpa.bbb.org/pn.html

The BBB is a leader in public services related to ethical business practices and dispute resolution. They promote integrity and business ethics through self-regulation in the marketplace. Services provided include a 24-Hour automated telephone inquiry service, which provides reliability reports on companies and charitable organizations, provides complaint filing services, dispute resolution services and consumer/business education programs. The services and information provided are, largely, at no cost to the public.

hallwatch

Hallwatch

http://www.hallwatch.org

Hallwatch covers the politics of the city of Philadelphia. It contains contact information for political officials, online searchable database of real estate and property tax, and city council happenings.

historical society of pennsylvania

Historical Society of Pennsylvania

http://www.hsp.org

The Society is a special collection's library housing one of the largest family history libraries in the nation, printed collections on Pennsylvania and regional history, and manuscript collections of 17th-, 18th-, and 19th-century history. It is also center for the documentation and study of the ethnic communities and immigrant experiences.

national register of historic places

National Register of Historic Places Properties in Pennsylvania http://www.arch.state.pa.us

This web-site provides a list of resources on the National Register of Historic Places in Pennsylvania.

PHMC

Pennsylvania Historical and Museum Commission

576 City Hall

Philadelphia, PA 19107 Tel: (215) 686-7660 Fax: (215) 686-7674

Web Address: http://www.mfrconsultants.com/hc/index.html

The Historical Commission plays five major roles in the Philadelphia government. It designates buildings, structures, sites, objects and districts as historic and enters them on the Philadelphia Register of Historic Places. It manages alterations to historic property through the Department of Licenses and Inspections. Any work that requires a building permit or that changes the appearance of an historic property must have the approval of the Historical Commission before will issue a building permit. It provides technical information about the preservation and conservation of historic properties and building materials as well as information about federal and state preservation legislation and the federal investment tax credit for the restoration and rehabilitation of historic buildings. It also acts as an archive for Philadelphia history, architectural history, architecture, preservation and archeology. It also reviews applications for and maintains a file for each property on the Philadelphia Register of Historic Places.

philadelphia architects and buildings

Philadelphia Architects and Buildings (PAB)

http://www.philadelphiabuildings.org/pab/

PAB is an on-line database of buildings and architects in Philadelphia from the 1700s onward.

philadelphia athenaeum

Philadelphia Athenaeum

http://www.philaathenaeum.org/

The Athenaeum is a special collections library with materials "connected with the history and antiquities of America..."

philadelphia historical commission

Philadelphia Historical Commission http://www.mfrconsultants.com/hc/

The Commission is responsible for making historic designations of buildings, structures, sites, objects and districts that have historical and architectural significance in within the city. They regulate the appearance of these cultural resources as part of the City's building permit process. The commission also offers free technical assistance and guidance to the public.

philadelphia historical digital image library Philadelphia Historical Digital Image Library

http://jeffline.tju.edu/archives/phdil/

An online database of over 3,000 historical images of Philadelphia.

places in time

Places in Time

http://www.brynmawr.edu/iconog/

An extensive collection of images, maps, drawings, and texts of Philadelphia history.

preservation alliance Preservation Alliance for Greater Philadelphia

http://www.preservationalliance.com

The Preservation Alliance promotes the appreciation, protection, and revitalization of the region's historic buildings, communities, and landscapes. They also provide technical assistance and educational materials to improve the quality of restoration and maintenance of historic buildings and sites, and as well as foster an understanding and appreciation of the cultural, social and economic benefits of historic preservation.

national resources

caring for your historic home Caring for Your Historic Building

http://www2.cr.nps.gov/tps/care/index.htm

Technical Preservation Services has now placed many of its popular classics, together with new interactive "web classes," on one site so you can access them more easily. The Good Guides is devoted to all aspects of caring for historic buildings--from choosing an appropriate treatment to actually "doing" the work in a way that meets historic preservation standards.

heritage preservation services Heritage Preservation Services

http://www2.cr.nps.gov/

Heritage Preservation Services provides Internet access to products, services, educational guidance, & funding tools.

national park service National Park Service ParkNet

http://www.nps.gov/

The home of the National Park Service and America's national parks.

NCPTT

National Center for Preservation Technology and Training (NCPTT) Clearinghouse

http://www.ncptt.nps.gov/

(Click on "Knowledge Center" and "News" in the navigation bar.)

The National Center for Preservation Technology and Training's Clearinghouse provides preservation information in a variety of easily accessible media. The PTTClearinghouse databases provide information about PTTGrants and PTTProjects — and a means to request the resulting publications; Internet resources such as Web sites and discussion lists; training and education opportunities; laboratories providing analytical services for historic preservation; literature collected by NCPTT's Materials Research Programs and its predecessor Acid Rain Program; jobs; conferences; and other funding resources.

Technical Preservation Services

Technical Preservation Services

http://www2.cr.nps.gov/tps/

Technical Preservation Services for Historic Buildings produces a wide variety of educational materials on preserving, rehabilitating, and restoring historic buildings based on nationally recognized standards and guidelines. These include the Preservation Briefs and Preservation Tech Note series, in-depth source books, case studies, videos, and web pages on the Internet. TPS also develops and presents national conferences, workshops, and other training in partnership with universities, public agencies, and professional organizations.

non-governmental resources

AATA

AATA Online

http://aata.getty.edu/NPS/

The AATA online is an extensive database of literature abstracts from published articles and books related to the conservation of material cultural heritage. Abstracts are usually targeted toward an academic audience, but some references are also intended for a lay audience.

BCIN

BCIN Conservation Database

http://www.bcin.ca/

A bibliographic database of the Conservation Information Network related to the conservation, preservation, and restoration of cultural property. Citations are usually targeted toward an academic audience.

building conservaton

BuildingConservation.com

http://www.buildingconservation.com

Hosts an extensive range of articles on materials conservation, restoration, maintenance, archeology, fire protection, building component history and use, and documentation. Articles are written for a lay audience, but contain some references to United Kingdom laws and regulations.

epreservation

EPreservation

http://www.epreservation.com/

Relatively new web site designed to foster interaction between professional members of the historic preservation community. Contains many useful articles on conservation, resource identification, and maintenance. A list of historic preservation organizations by state is also provided along with conferences and workshops.

ICCROM

ICCROM

http://www.iccrom.org/eng/about/whats.htm

The International Centre for the Study of the Preservation and Restoration of Cultural Property is an organization that was founded to promote the value of architectural conservation to people from all walks of life. ICCROM offers training, research, and advocacy programs.

ICOMOS

ICOMOS

http://www.icomos.org/

A non-governmental, worldwide organization dedicated to the conservation of the historic monuments and sites.

national trust

National Trust for Historic Preservation

http://www.nationaltrust.org/

Nationwide preservation advocacy organization created by a charter from the United States Congress.

new york landmarks conservancy

New York Landmarks Conservancy publications

http://www.nylandmarks.org/

Publishes Common Bond, a journal whose mission is to education historic building stewards on issues of identification, maintenance, and conservation written for a lay audience.

preservation directory

Preservation Directory

http://www.preservationdirectory.com/

Listings for historical societies and house museums, preservation organizations, products and services, events, heritage tourism resources and other historic preservation related resources.

preservation trades network

Preservation Trades Network

http://www.ptn.org/

A web site that links building trades with historic preservation.

preservenet

PreserveNet

http://www.preservenet.cornell.edu

Hosted by Cornell University, this site provides listings for educational resources (workshops, conferences), historic preservation legal issues, funding sources, and related information.

preservation bibliography

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